



**SPMUD BOARD OF DIRECTORS  
REGULAR MEETING: 4:30 PM  
April 4, 2024**

SPMUD Boardroom  
5807 Springview Drive, Rocklin, CA 95677

Zoom Meeting: 1 (669) 900-9128  
Meeting ID: 882 7964 9201

The District's regular Board meeting is held on the first Thursday of every month. This notice and agenda are posted on the District's website ([www.spmud.ca.gov](http://www.spmud.ca.gov)) and the District's outdoor bulletin board at 5807 Springview Drive Rocklin, CA. Meeting facilities are accessible to persons with disabilities. Requests for other considerations should be made at (916) 786-8555.

The April 4, 2024 meeting of the SPMUD Board of Directors will be held in the District Board Room at 5807 Springview Drive in Rocklin, CA 95677 with the option for the public to join via teleconference using Zoom Meeting 1 (669) 900-9128, <https://us02web.zoom.us/j/88279649201>. Public comments can be made in person at the time of the meeting or emailed to [ecostan@spmud.ca.gov](mailto:ecostan@spmud.ca.gov) from the time the agenda is posted until the matter is heard at the meeting. Comments should be kept to 250 words or less.

**AGENDA**

**I. CALL MEETING TO ORDER**

**II. ROLL CALL OF DIRECTORS**

Director Gerald Mitchell	Ward 1
Director William Dickinson	Ward 2
Vice President Christy Jewell	Ward 3
President James Durfee	Ward 4
Director James Williams	Ward 5

**III. PLEDGE OF ALLEGIANCE**

**IV. PUBLIC COMMENTS**

Items not on the Agenda may be presented to the Board at this time; however, the Board can take no action. Public comments can be made in person at the time of the meeting or emailed to [ecostan@spmud.ca.gov](mailto:ecostan@spmud.ca.gov) from the time the agenda is posted until the matter is heard at the meeting. Comments should be kept to 250 words or less.

**V. CONSENT ITEMS**

[pg 4 to 43]

Consent items should be considered together as one motion. Any item(s) requested to be removed will be considered after the motion to approve the Consent Items.

ACTION: (Roll Call Vote)

*Motion to approve the consent items for the April 4, 2024 meeting.*

1. MINUTES from the March 7, 2024, Regular Meeting. [pg 4 to 6]
2. ACCOUNTS PAYABLE in the amount of \$3,357,512 through March 25, 2024. [pg 7 to 12]
3. RESOLUTION 24-06 AUTHORIZATION FOR THE GENERAL MANAGER TO EXECUTE A CONTRACT FOR ROOT CONTROL FOAMING WITH DUKE’S ROOT CONTROL INC. [pg 13 to 43]

**VI. BOARD BUSINESS**

Board action may occur on any identified agenda item. Any member of the public may directly address the Board on any identified agenda item of interest, either before or during the Board's consideration of that item.

1. **APPEAL OF THE RISING ZONE, 5828 LONETREE BOULEVARD, PARTICIPATION CHARGE CALCULATION** [pg 44 to 80]

YDK Investments, on behalf of The Rising Zone, is appealing the calculation of the total participation charge due for the improvements at 5828 Lonetree Boulevard.

Action Requested; Roll Call Vote

**Staff recommends that the Board of Directors:**

1. **Find that the calculations of the combined uses at TRZ are correct per the District’s Sewer Code;**
2. **Deny the appeal; and**
3. **Demand payment of the total Participation Fee due of \$33,964.10.**

2. **RESOLUTION 24-07 UPDATING THE INVESTMENT OF DISTRICT FUNDS STRATEGY** [pg 81 to 84]

Staff will provide information on the updated investment strategy which includes a proposal to invest in fixed-income securities through Wells Fargo Securities.

Action Requested: Roll Call Vote

**Staff recommends that the Board of Directors adopt Resolution 24-07, Updating the Investment of District Funds Strategy.**

3. **RESOLUTION 24-08 OPPOSING INITIATIVE 1935 (AKA 21-0042A19)** [pg 85 to 88]

Staff will report to the Board on proposed Initiative 21-0042A19, also known as Initiative 1935 titled, “Limits Ability of Voters and State and Local Governments to Raise Revenues for Government Services. Initiative Constitutional Amendment.”

Action Requested: Roll Call Vote

**Staff recommends that the Board of Directors adopt Resolution 24-08, Opposing Initiative 1935 (aka 21-0042A19).**

**VII. REPORTS**

[pg 89 to 103]

The purpose of these reports is to provide information on projects, programs, staff actions, and committee meetings that are of general interest to the Board and the public. No decisions are to be made on these issues.

1. Legal Counsel (A. Brown)
2. General Manager (H. Niederberger)
  - 1) ASD, FSD & TSD Reports
  - 2) Informational items
3. Director’s Comments: Directors may make brief announcements or brief reports on their activities. They may ask questions for clarification, make a referral to staff, or take action to have staff place a matter of business on a future agenda.

**VIII. CLOSED SESSION**

1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION  
Initiation of Litigation pursuant to Government Code Section 54956.9(d)(4)

Number of potential cases: 2

**IX. CLOSED SESSION READOUT**

**X. ADJOURNMENT**

If there is no other Board business the President will adjourn the meeting to the next regular meeting to be held on **May 2, 2024, at 4:30 p.m.**

**REGULAR BOARD MINUTES  
SOUTH PLACER MUNICIPAL UTILITY DISTRICT**

<b>Meeting</b>	<b>Location</b>	<b>Date</b>	<b>Time</b>
Regular	SPMUD Boardroom Zoom Meeting	March 7, 2024	4:30 p.m.

**I. CALL MEETING TO ORDER:** The Regular Meeting of the South Placer Municipal Utility District Board of Directors was called to order with President Durfee presiding at 4:28 p.m.

**II. ROLL CALL OF DIRECTORS:**

Present: Director Jerry Mitchell, Director Will Dickinson, Director Christy Jewell, Director James Durfee, Director Jim Williams

Absent: None

Vacant: None

Staff: Adam Brown, Legal Counsel  
Herb Niederberger, General Manager  
Carie Huff, District Engineer  
Eric Nielsen, Superintendent  
Emilie Costan, Administrative Services Manager

**III. PLEDGE OF ALLEGIANCE:** DE Huff led the Pledge of Allegiance.

**IV. PUBLIC COMMENTS:**

ASM Costan confirmed that no eComments were received. Hearing no other comments, the public comments session was closed.

**V. CONSENT ITEMS:**

1. MINUTES from the February 1, 2024, Regular Meeting.
2. ACCOUNTS PAYABLE in the amount of \$1,094,639 through February 26, 2024.
3. BILL OF SALE Acceptance of the Bill of Sale for Sewer Improvements within the Terracina Whitney Ranch subdivision with an estimated value of \$20,275.
4. BILL OF SALE Acceptance of the Bill of Sale for Sewer Improvements within the Wildcat West subdivision offsite improvements with an estimated value of \$179,431.
5. RESOLUTION 24-05 QUITCLAIM OF SEWER EASEMENTS ON THE SIERRA JOINT COMMUNITY COLLEGE DISTRICT PROPERTIES.

Director Dickinson made a motion to approve the consent items; a second was made by Director Mitchell; a roll call vote was taken, and the motion carried 5-0.

## **VI. BOARD BUSINESS**

### **1. ONE-STOP DEVELOPER FEE CALCULATIONS**

GM Niederberger presented his outreach on fee estimates for development projects. He shared that he reached out to the City of Rocklin, the Town of Loomis, and Placer County to determine how the agencies direct customers to outside service providers to obtain fee information. The agencies all shared that they do not want to be responsible for providing potentially incorrect fee estimates for outside agencies. As a result, there is no one-stop shop for developer fee estimates.

Director Mitchell commented that the clarity from the board report was helpful. He added that he believes that the City of Rocklin is beginning to understand the limitations that the District has in monetarily supporting City initiatives.

Director Williams commented that he fully understands why the agencies don't want to give estimates for outside service providers; however, the City of Roseville does a good job of putting out a total fee estimate using links to outside providers. He commented that it is challenging because fees change, but it is a great service. He added that if applicants are informed that they need to contact other providers, they won't be subjected to large unknown fees. President Durfee asked where the public can view referral links. GM Niederberger shared that they are available on each jurisdiction's website; however, they are not all-inclusive, and most did not contain links to the school districts.

Director Jewell commented that she appreciated the time that it took to prepare the report. She shared that she would like to further explore the information provided on the jurisdiction's websites to understand what the process is like for the public and potentially make recommendations for improvements. She added that it has taken time to understand the difference between a full-service City and the jurisdictions serviced by the District.

President Durfee opened the item for public comment. No public comments were received.

## **VII. REPORTS**

### **1. District General Counsel (A. Brown):**

General Counsel Brown had no report for this meeting.

### **2. General Manager (H. Niederberger):**

#### **A. ASD, FSD & TSD Reports:**

Director Dickinson congratulated ASM Costan on obtaining her Society of Human Resource Management Senior Certified Professional certification. He then asked for more information on deviations from the stated goals in the FSD performance measures. DS Nielsen shared that the District now has two full lateral crews which has skewed some of the metrics. The goals will be adjusted at the beginning of the fiscal year. DS Nielsen also shared that there were some timing issues with the application of the lateral chemical root treatments to maximize effectiveness.

Director Dickinson questioned the expense for the two Midas Avenue lateral replacements. DE Huff shared that the laterals were deep, and the bypass was challenging. She commented that she does not expect every lateral replacement to be as costly.

Director Mitchell asked about the easements from the City of Rocklin for the Atherton Sewer Trunkline. DE Huff shared that there is an existing easement over the trunkline; however, it does not meet the current standards. New developments are being notified that they may not be able to connect upstream of the trunkline if the easements are not granted. Director Mitchell commented that the District doesn't want to hold up development projects. He encouraged the City to secure the easements. Director Dickinson shared that the District discussed this with the City at the last 2x2 meeting. GM Niederberger added that he will discuss this again with the City Manager. Director Mitchell congratulated the District on 2,710 without a loss time accident or injury.

**B. Information Items:**

There were no information items.

**3. Director's Comments:**

Director Williams shared that GM Niederberger gave a nice presentation at the Loomis Lion's Club meeting on Tuesday. He added that this is a good way to inform customers about Fats, Oils, and Greases and other outreach messages.

**VIII. CLOSED SESSION READOUT**

The Board met in Closed Session at 4:48 p.m. to discuss the items listed on the agenda.

Item #1, the Board heard a report from the General Manager and provided direction.

Item #2, the Board heard a report from the General Counsel, and no action was taken.

Item #3, the Board heard a report from the General Counsel, and no action was taken.

The Board adjourned the closed session at 5:30 p.m.

**IX. ADJOURNMENT**

The President adjourned the meeting at 5:32 p.m. to the next regular meeting to be held on April 4, 2024, at 4:30 p.m.



Emilie Costan, Board Secretary

Item 5.2



South Placer M.U.D.

# Check Report

By Check Number

Date Range: 02/27/2024 - 03/25/2024

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
<b>Bank Code: AP Bank-AP Bank</b>						
1652	Cintas Corporation	03/13/2024	Regular	0.00	-543.40	16781
1652	Cintas Corporation	02/29/2024	Regular	0.00	609.90	16867
1852	Coastland Civil Engineering LLP	02/29/2024	Regular	0.00	15,788.75	16868
1864	Flo-Line Technology, Inc	02/29/2024	Regular	0.00	14,157.48	16869
1764	Network Design Associates, Inc.	02/29/2024	Regular	0.00	960.00	16870
1221	PG&E	02/29/2024	Regular	0.00	1,288.92	16871
1518	Sonitrol of Sacramento	02/29/2024	Regular	0.00	128.70	16872
1866	TRC Companies	02/29/2024	Regular	0.00	710.00	16873
1850	WYJO Services Corp	02/29/2024	Regular	0.00	1,879.89	16874
1240	Placer County Personnel	03/01/2024	Regular	0.00	3,536.44	16875
1327	US Bank Corporate Payment	03/06/2024	Regular	0.00	13,800.83	16876
	**Void**	03/06/2024	Regular	0.00	0.00	16877
	**Void**	03/06/2024	Regular	0.00	0.00	16878
	**Void**	03/06/2024	Regular	0.00	0.00	16879
	**Void**	03/06/2024	Regular	0.00	0.00	16880
1870	American Steel Carports, Inc	03/07/2024	Regular	0.00	2,505.69	16881
1652	Cintas Corporation	03/07/2024	Regular	0.00	584.58	16882
1068	City of Roseville	03/07/2024	Regular	0.00	255,434.06	16883
1775	CPS HR Consulting	03/07/2024	Regular	0.00	445.00	16884
1509	Crystal Communications	03/07/2024	Regular	0.00	311.64	16885
1086	Dataprose	03/07/2024	Regular	0.00	8,727.59	16886
1087	Dawson Oil Co.	03/07/2024	Regular	0.00	5,326.84	16887
1105	Eric Nielsen	03/07/2024	Regular	0.00	112.24	16888
1113	Ferguson Enterprises, Inc. 1423 (Main)	03/07/2024	Regular	0.00	176.15	16889
1136	Helix Laboratories, Inc.	03/07/2024	Regular	0.00	2,795.94	16890
1564	Jensen Landscape Services, LLC	03/07/2024	Regular	0.00	1,017.00	16891
1163	Joe Gonzalez Trucking, LLC.	03/07/2024	Regular	0.00	2,514.30	16892
1218	PCWA	03/07/2024	Regular	0.00	1,466.67	16893
1221	PG&E	03/07/2024	Regular	0.00	614.12	16894
1685	Streamline	03/07/2024	Regular	0.00	497.00	16895
1850	WYJO Services Corp	03/07/2024	Regular	0.00	1,253.09	16896
1021	ARC	03/14/2024	Regular	0.00	104.21	16913
248	AT&T	03/14/2024	Regular	0.00	8.86	16914
1022	AT&T CalNet	03/14/2024	Regular	0.00	528.40	16915
1795	Brower Mechanical	03/14/2024	Regular	0.00	1,068.00	16916
1652	Cintas Corporation	03/14/2024	Regular	0.00	1,133.91	16917
1872	Evan Valente	03/14/2024	Regular	0.00	332.41	16918
1666	Great America Financial Services	03/14/2024	Regular	0.00	563.57	16919
1764	Network Design Associates, Inc.	03/14/2024	Regular	0.00	450.00	16920
1218	PCWA	03/14/2024	Regular	0.00	56,602.48	16921
1221	PG&E	03/14/2024	Regular	0.00	10,030.37	16922
1797	Red Dog Shredz	03/14/2024	Regular	0.00	75.00	16923
1518	Sonitrol of Sacramento	03/14/2024	Regular	0.00	1,410.37	16924
1338	Verizon Wireless	03/14/2024	Regular	0.00	3,254.28	16925
1850	WYJO Services Corp	03/14/2024	Regular	0.00	1,258.78	16926
1652	Cintas Corporation	03/20/2024	Regular	0.00	614.23	16927
1068	City of Roseville	03/20/2024	Regular	0.00	2,606,750.00	16928
1852	Coastland Civil Engineering LLP	03/20/2024	Regular	0.00	21,693.75	16929
1073	Consolidated Communications	03/20/2024	Regular	0.00	2,158.65	16930
1086	Dataprose	03/20/2024	Regular	0.00	2,226.96	16931
1872	Evan Valente	03/20/2024	Regular	0.00	58.00	16932
1139	Hill Rivkins Brown & Associates	03/20/2024	Regular	0.00	12,400.00	16933
1218	PCWA	03/20/2024	Regular	0.00	622.77	16934
1244	Preferred Alliance Inc	03/20/2024	Regular	0.00	217.95	16935

Check Report

Date Range: 02/27/2024 - 03/25/2024

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
1265	Rocklin Area Chamber of Commerce	03/20/2024	Regular	0.00	500.00	16936
1333	SPOK, Inc.	03/20/2024	Regular	0.00	29.50	16937
1848	Ubora Engineering & Planning	03/20/2024	Regular	0.00	14,775.00	16938
1343	Water Works Engineers, LLC	03/20/2024	Regular	0.00	31,528.91	16939
1045	Cal Pers 457 Plan (EFT)	03/01/2024	Bank Draft	0.00	1,075.00	DFT0008956
1135	Empower (EFT)	03/01/2024	Bank Draft	0.00	260.00	DFT0008958
1135	Empower (EFT)	03/01/2024	Bank Draft	0.00	9,256.00	DFT0008959
1135	Empower (EFT)	03/01/2024	Bank Draft	0.00	756.83	DFT0008960
1042	CA State Disbursement (EF	03/01/2024	Bank Draft	0.00	510.46	DFT0008961
1015	American Fidelity Assurance	03/01/2024	Bank Draft	0.00	455.81	DFT0008962
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	49.13	DFT0008963
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	1,000.75	DFT0008964
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	1,995.24	DFT0008965
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	2,118.70	DFT0008966
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	3,583.64	DFT0008967
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	5,377.58	DFT0008968
1229	Pers (EFT)	03/01/2024	Bank Draft	0.00	5,329.02	DFT0008969
1149	Internal Revenue Service	03/01/2024	Bank Draft	0.00	14,615.12	DFT0008970
1098	EDD (EFT)	03/01/2024	Bank Draft	0.00	4,178.54	DFT0008971
1098	EDD (EFT)	03/01/2024	Bank Draft	0.00	1,262.87	DFT0008972
1149	Internal Revenue Service	03/01/2024	Bank Draft	0.00	3,418.06	DFT0008973
1149	Internal Revenue Service	03/01/2024	Bank Draft	0.00	10,313.17	DFT0008974
1015	American Fidelity Assurance	03/01/2024	Bank Draft	0.00	323.14	DFT0008975
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	7,498.48	DFT0008976
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	36,566.48	DFT0008977
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	10,065.30	DFT0008978
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	173.22	DFT0008979
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	4,082.00	DFT0008980
1230	Pers (EFT)	03/01/2024	Bank Draft	0.00	111.97	DFT0008981
1586	Principal Life Insurance Company	03/01/2024	Bank Draft	0.00	719.67	DFT0008982
1015	American Fidelity Assurance	03/07/2024	Bank Draft	0.00	30,102.92	DFT0008983
1015	American Fidelity Assurance	03/07/2024	Bank Draft	0.00	30,102.92	DFT0008984
1045	Cal Pers 457 Plan (EFT)	03/15/2024	Bank Draft	0.00	1,075.00	DFT0008986
1135	Empower (EFT)	03/15/2024	Bank Draft	0.00	260.00	DFT0008988
1135	Empower (EFT)	03/15/2024	Bank Draft	0.00	9,256.00	DFT0008989
1135	Empower (EFT)	03/15/2024	Bank Draft	0.00	670.32	DFT0008990
1042	CA State Disbursement (EF	03/15/2024	Bank Draft	0.00	510.46	DFT0008991
1015	American Fidelity Assurance	03/15/2024	Bank Draft	0.00	455.81	DFT0008992
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	49.13	DFT0008993
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	1,000.75	DFT0008994
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	1,995.24	DFT0008995
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	2,118.70	DFT0008996
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	3,583.64	DFT0008997
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	5,377.59	DFT0008998
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	5,329.02	DFT0008999
1149	Internal Revenue Service	03/15/2024	Bank Draft	0.00	14,670.16	DFT0009000
1098	EDD (EFT)	03/15/2024	Bank Draft	0.00	3,943.24	DFT0009001
1098	EDD (EFT)	03/15/2024	Bank Draft	0.00	1,258.49	DFT0009002
1149	Internal Revenue Service	03/15/2024	Bank Draft	0.00	3,430.90	DFT0009003
1149	Internal Revenue Service	03/15/2024	Bank Draft	0.00	9,801.85	DFT0009004



Check Report

Date Range: 02/27/2024 - 03/25/2024

<b>Vendor Number</b>	<b>Vendor Name</b>	<b>Payment Date</b>	<b>Payment Type</b>	<b>Discount Amount</b>	<b>Payment Amount</b>	<b>Number</b>
1229	Pers (EFT)	03/15/2024	Bank Draft	0.00	-3,045.12	DFT0009005

Bank Code AP Bank Summary

<b>Payment Type</b>	<b>Payable Count</b>	<b>Payment Count</b>	<b>Discount</b>	<b>Payment</b>
Regular Checks	101	53	0.00	3,107,039.18
Manual Checks	0	0	0.00	0.00
Voided Checks	0	5	0.00	-543.40
Bank Drafts	47	47	0.00	247,043.20
EFT's	0	0	0.00	0.00
	<b>148</b>	<b>105</b>	<b>0.00</b>	<b>3,353,538.98</b>

Check Report

Date Range: 02/27/2024 - 03/25/2024

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
1645	Aspire Retirement Solutions	03/01/2024	Bank Draft	0.00	1,022.32	DFT0008957
1645	Aspire Retirement Solutions	03/15/2024	Bank Draft	0.00	1,022.32	DFT0008987

Bank Code PY Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	2	2	0.00	2,044.64
EFT's	0	0	0.00	0.00
	<b>2</b>	<b>2</b>	<b>0.00</b>	<b>2,044.64</b>

### All Bank Codes Check Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	101	53	0.00	3,107,039.18
Manual Checks	0	0	0.00	0.00
Voided Checks	0	5	0.00	-543.40
Bank Drafts	49	49	0.00	249,087.84
EFT's	0	0	0.00	0.00
	<b>150</b>	<b>107</b>	<b>0.00</b>	<b>3,355,583.62</b>

### Fund Summary

Fund	Name	Period	Amount
100	GENERAL FUND	2/2024	35,523.64
100	GENERAL FUND	3/2024	3,320,059.98
			<b>3,355,583.62</b>

Account Number	Name	Date	Type	Amount	Reference
102-0000667-01	Steiger, Erik K	3/11/2024	Refund	\$ 349.36	Check #: 16897
102-0001901-02	Gibson, Cameron and Emily	3/11/2024	Refund	\$ 10.40	Check #: 16898
102-0007485-01	Mattson, Ann	3/11/2024	Refund	\$ 111.54	Check #: 16899
102-0008787-01	Loughlean, Barry	3/11/2024	Refund	\$ 103.58	Check #: 16900
102-0010057-01	Overboe, Troy and Jennifer	3/11/2024	Refund	\$ 1,805.91	Check #: 16901
102-0010908-01	Lester, Mitchelle	3/11/2024	Refund	\$ 10.00	Check #: 16902
103-0004503-04	Myers, Jessika	3/11/2024	Refund	\$ 895.68	Check #: 16903
106-0013336-02	Aubry, Robert and Diane	3/11/2024	Refund	\$ 114.18	Check #: 16904
106-0013763-02	Carr-Hall, John	3/11/2024	Refund	\$ 114.13	Check #: 16905
106-0017525-01	Burnett, Linda	3/11/2024	Refund	\$ 72.82	Check #: 16906
112-1021547-02	Bull, Justin L	3/11/2024	Refund	\$ 5.01	Check #: 16907
112-1022442-02	Wallington, Lonnie	3/11/2024	Refund	\$ 111.24	Check #: 16908
112-1025828-02	Matthews, Paul and Wichuda	3/11/2024	Refund	\$ 49.16	Check #: 16909
112-1028957-01	Conger, Daniel and Chanthy	3/11/2024	Refund	\$ 116.11	Check #: 16910
112-1029052-01	Glover, Marianne And Richard	3/11/2024	Refund	\$ 86.07	Check #: 16911
201-0012110-01	Covington, John and Saskia	3/11/2024	Refund	\$ 17.50	Check #: 16912
<b>TOTAL REFUNDS</b>				<b>\$ 3,972.69</b>	

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT**

**STAFF REPORT**

**To:** Board of Directors

**From:** Eric Nielsen, Superintendent

**Cc:** Herb Niederberger, General Manager

**Subject:** Resolution 24-06, Award of Contract for SPMUD – Root Control Program 2024 to Duke’s Root Control

**Date:** April 4, 2024

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**Overview**

Root intrusion into sewers is the leading cause of spills from the sanitary sewer system as documented in the District’s last four Sewer System Management Plan (SSMP) Audits. Controlling and stopping the growth of roots in the sewer collection system is critical to minimizing the number of spills. A few options exist for addressing root intrusion in sewers. Roots can be physically cut or removed using rodding equipment or high-pressure water. Studies have shown that physically cutting roots may encourage future growth. The other option is to apply chemicals that kill the roots on contact (without harming the plant itself) and stunt future root growth. The District has used contracted forces to apply root control chemicals to sewer mainlines impacted by root growth since the early 1990’s. The District’s chemical root control program saves time by limiting the frequency District crews need to visit and perform maintenance on a sewer mainline to ensure service.

The number of mainline segments with significant root intrusion has grown over the years. Staff recently audited the process for managing the chemical root control program. Mainline segments were bundled geographically into two groups. One group is to be treated with root-control chemicals in “even” years (e.g., 2022, 2024) and the other group is to be treated in “odd” years (e.g., 2023, 2025).

The 2024 Root Control Program project consists of applying root-control chemicals to one hundred and thirty-six (133) mainline pipe segments totaling approximately 33,659 lineal feet.

The District issued an invitation for bids on February 15, 2024, and posted the solicitation on Public Purchase. Sealed bids were due by March 15, 2024, for a public opening and reading. Duke’s Root Control, Inc. was the only bidder. Duke’s Root Control, Inc. has successfully applied root control chemicals to the District’s sewer system for many years. Staff reviewed the bid and found it responsive to the requirements outlined in the invitation for bids.

<b>Bidder</b>	<b>Amount</b>
Duke's Root Control, Inc.	\$62,947.58
Budget Estimate	\$60,000.00

The initial budget estimate of \$60,000 was based on unit costs from the contract from 2022 (i.e., contract for the same “even” year pipe segments) with an anticipated inflationary adjustment. However, the actual cost increase was higher than anticipated, as reflected in the bid amount. Staff proposes to reallocate monies within the Operating Budget (Fund 100) to the budget line item “Root Control Program” (100-F01-71465) from budget line item “Easement/Access Road” (100-F01-71309) to cover the additional costs.

### **Recommendation**

Staff recommends the Board of Directors adopt Resolution 24-06, authorizing the General Manager to:

1. Award the attached contract for services with Duke's Root Control, Inc.
2. Execute change orders up to a cumulative amount not to exceed \$3,147.38, which is 5% of the awarded contract amount.
3. Approve the following budget adjustments:
  1. Increase the Root Control Program budget (100-F01-71465) by \$6,100 from \$71,000 to \$77,100.
  2. Decrease the Easement / Access Road budget (100-F01-71309) by \$6,100 from \$200,000 to \$193,900.

### **Strategic Plan Goals**

This action is consistent with the SPMUD Strategic Priority(ies):

4. Maintain an excellent regulatory compliance record by reducing spills.

### **Related District Ordinances and Policies**

This action complies with the following District Policy(ies)

Policy No. 3150 – Purchasing Policy

### **Fiscal Impact**

The project costs will be charged against the budget line item “Root Control Program” (100-F01-71465). If the proposed budget adjustment is approved, there will be no change to the planned expenditures from the Operating Budget (Fund 100).

### **Attachments**

1. Resolution 24-06
2. Contract for Services with Duke's Root Control, Inc.

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT**

**RESOLUTION NO. 24-06**

**NOTICE OF AWARD FOR THE ROOT CONTROL PROGRAM 2024 PROJECT  
TO DUKE'S ROOT CONTROL, INC.**

WHEREAS, South Placer Municipal Utility District, hereinafter called SPMUD, owns and operates the sewer facilities within its boundary, and

WHEREAS, roots enter the sewer system creating blockages, potentially resulting in spills, and work is required to control the growth of roots within the sewer system, and

WHEREAS, SPMUD competitively bid the work to be performed as required in the Public Contract Code, and

WHEREAS, SPMUD reviewed the bids received and found the bid by Duke's Root Control, Inc. to be the lowest responsive, responsible bidder, and

WHEREAS, discoveries during construction may necessitate a need for changes to the contract, and

WHEREAS, the SPMUD Purchasing Policy (Policy 3150) allows for the General Manager to only approve commitments up to and including \$50,000.

NOW, THEREFORE BE IT RESOLVED, that the South Placer Municipal Utility District Board of Directors authorizes the General Manager to:

1. Award the contract for services to apply root-control chemicals to the sewer segments identified in the Root Control Program 2023 Project to Duke's Root Control, Inc. in the amount of \$62,947.58, and
2. Execute change orders for the Root Control Program 2024 contract with Duke's Root Control, Inc. so far as the cumulative amount does not exceed a total of \$3,147.38 (5% of the contract amount). Change orders which collectively total more than the above amount are not authorized without prior approval of the Board of Directors.

3. Adjust the following budgeted line items within the Operating Fund Budget:
  - a. Increase the Root Control Program budget (100-F01-71465) by \$6,100 from \$71,000 to \$77,100.
  - b. Decrease the Easement / Access Road budget (100-F01-71309) by \$6,100 from \$200,000 to \$193,900.

PASSED AND ADOPTED at a Regular Meeting of the South Placer Municipal Utility District Board of Directors at Rocklin, CA this 4<sup>th</sup> day of April 2024.

Signed: \_\_\_\_\_  
James T. Durfee, President of the Board of Directors

Attest: \_\_\_\_\_  
Emilie Costan Board Secretary



SECTION 5

CONTRACT FOR SERVICES

**SPMUD – Root Control Program 2024**

THIS CONTRACT is made on this 4 day of April, 2024, between the SOUTH PLACER MUNICIPAL UTILITY DISTRICT ("District") and, Duke's Root Control, Inc. ("Contractor").

WITNESSETH:

WHEREAS, the District desires control root growth in portions of its sewer collection system piping, within the District, by chemical root control method, and;

WHEREAS, the Contractor has presented a bid for such to the District, dated March 15, 2024, (attached hereto and incorporated herein as Exhibit "A") and is duly licensed, qualified and experienced to perform the construction of such facility;

NOW, THEREFORE, the parties hereto mutually agree as follows:

**5.0 CONTRACT CONSIDERATIONS:** Contractor enters into this Contract as an independent Contractor and not as an employee of the District. All employees, agents, Contractors or subcontractors hired or retained by the Contractor are employees, agents, Contractors or subcontractors of the Contractor and not of the District.

Contractor's decision to execute this Contract is based on independent investigation and research of the conditions affecting this Contract and not upon any representations made by the District, its officers, employees or agents.

**5.1 SCOPE OF WORK:** Contractor shall provide all labor, equipment, materials and incidentals required to complete, in a good and workmanlike manner, all work. The work is to include, but is not necessarily limited to, the following:

1. Applying Chemical Root Treatment to 133 Mainline Pipe Segments: Diameters ranging from 4-inch to 18-inch and accumulative length totaling 33,659 feet.

The above tasks shall be completed in accordance with drawings, notes, plans and specifications provided to the Contractor by the District. The District reserves the right to increase and/or decrease quantities at its discretion.

**5.2 TIME OF PERFORMANCE:** The Contractor is to commence, as soon as possible, upon execution and receipt of this Contract by, and receipt of written Notice to Proceed from, the District, and shall be undertaken and completed by June 30, 2024. Work not completed during this timeframe may be removed from the contract at the discretion of the District.

**5.3 COMPENSATION:** The Contractor shall be paid monthly, for the pipe segments treated, the fees, costs and expenses for all time and materials required and expended, but in no event, shall total compensation exceed the contract amount without the District's prior written approval.

Said amount shall be paid upon submittal of a monthly billing showing tasks completed and quantities installed during the preceding billing period.

If the Work is halted at the request of the District, compensation shall be based upon the proportion that the work performed bears to the total work required by the Contract.

**5.4 TERMINATION:** This Contract may be terminated, without cause, at any time by the District upon thirty (30) days' written notice. In the event of any such termination, the Contractor shall be compensated as provided for in this Contract. Upon such termination, the District shall be entitled to all work created pursuant to this Contract.

**5.5 CHANGES:** The District or Contractor may, from time to time, request changes in the scope of the contract to be performed hereunder. Such changes, including any increase or decrease in the amount of Contractor's compensation and/or changes in the schedule must be authorized in advance by the District in writing. Mutually agreed changes shall be incorporated in written amendments to this Contract.

**5.6 (Purposely Left Blank)**

**5.7 WARRANTY:** Contractor warrants that it has the expertise or has experts available to help in the preparation of services as set forth in the contract in a manner consistent with generally accepted standards of Contractor's profession. Contractor further warrants that it will perform said services in a legally-adequate manner in conformance with all applicable Federal, state and local laws and guidelines.

Should any failure of the work occur within a period of one year from the date of acceptance of the project by the District due to faulty materials, poor workmanship, or defective equipment, the Contractor shall promptly retreat the pipe segment(s) at his expense and to the satisfaction of the District.

**5.8 SUBCONTRACTING:** None of the services covered by this Contract shall be subcontracted without the prior written consent of the District. Contractor shall be as fully responsible to the District for the acts and omissions of its Contractors and subcontractors, and of persons either directly or indirectly employed by them, as it is for the acts and omissions of persons directly employed by Contractor.

**5.9 ASSIGNABILITY:** Contractor shall not assign or transfer any interest in this Contract whether by assignment or novation without the prior written consent of the District. Provided, however, that claims for money due or to become due Contractor from the District under this Contract may be assigned to a financial institution or to a trustee in bankruptcy, without such approval. Notice of any assignment or transfer whether voluntary or involuntary shall be furnished promptly to the District.

**5.10 PREVAILING WAGES:** Pursuant to Section 1773, and following, of the California Labor Code, the Contractor and all subcontractors shall pay not less than the prevailing rate of

per diem wages as determined by the Director of the California Department of Industrial Relations for all work performed on site.

**5.11 SAFETY:** The Contractor shall be responsible for providing, initiating, maintaining, and supervising appropriate safety precautions and programs in connection with the work or the activities of subcontractors, suppliers, and others at the work site, including the public, as required by U.S. OSHA and Cal OSHA.

**5.12 PROTECTION OF WORK AND PROPERTY:** The Contractor shall employ such means and methods to adequately protect the District, and other public and private property against damage. In the event of damage to such property, Contractor shall immediately restore the property to a condition equal to its original condition and bear all costs thereof. During progress of the work the Contractor shall keep the construction site in a clean and orderly condition.

**5.13 INDEMNITY AND LITIGATION COSTS:** Contractor shall indemnify, defend, and hold harmless the District, its officers, officials, agents, and employees from and against any and all claims, damages, demands, liability, costs, losses and expenses, including without limitation court costs and reasonable attorneys' fees arising out of or in connection with Contractor's performance of work hereunder or its failure to comply with any of its obligations contained in the Contract Documents, except such loss or damage which was caused by the [active negligence], sole negligence or willful misconduct of the District.

**5.14 CONTRACTOR TO PROVIDE INSURANCE:** Contractor shall not commence any work before obtaining and shall maintain in force at all times during the term and performance of this Contract the policies of insurance specified in Section 7, attached hereto and incorporated herein by this reference.

**5.15 MISCELLANEOUS PROVISIONS:** The Contractor shall designate a project manager who at all times shall represent the Contractor before the District on all matters relating to this Contract. The project manager shall continue in such capacity unless and until he is removed at the request of the District or replaced with the written approval of the District.

Contractor shall not engage in unlawful employment discrimination. Such unlawful employment discrimination includes, but is not limited to, employment discrimination based upon a person's race, religious creed, color, national origin, ancestry, physical handicap, medical condition, marital status, gender, citizenship or sexual orientation.

This Contract and its Exhibits, the Notice to Bidders, the Bid, General Conditions, Special Provisions, Technical Specifications, Plans, any Addenda and the Drawings constitute the entire agreement between the parties relative to the services specified herein and no modification hereof shall be effective unless and until such modification is evidenced by a writing signed by both parties to this Contract. There are no understandings, agreements, conditions, representations, warranties or promises, with respect to this Contract, except those contained in or referred to in the writing.

Contractor shall maintain and make available for inspection by the District and its auditors accurate records of all its costs, disbursements and receipts with respect to any work under this Contract. Such inspections may be made during regular office hours at any time until six (6) months after the final payments under this Contract are made to Contractor.

Executed the day and year first above written, by the parties as follows:

SOUTH PLACER MUNICIPAL UTILITY DISTRICT

By: \_\_\_\_\_  
Herb Niederberger, General Manager

Attest:

By: \_\_\_\_\_  
Emilie Costan, Secretary to the Board

Contractor

By: \_\_\_\_\_

Print: \_\_\_\_\_

Title: \_\_\_\_\_

SECTION 6

Purposely Left Blank

## SECTION 7

### **INSURANCE**

**INSURANCE REQUIREMENTS** - The successful bidder must provide a current certificate of insurance, naming South Placer Municipal Utility District as also insured. Proof of coverage for the following must be provided within ten (10) business days of notification of award of contract.

Limits of Liability:

General Aggregate (Other than products/Completed Operations):	\$2,000,000
Products/Completed Operations Aggregate:	\$2,000,000
Personal & Advertising Injury Limit:	\$1,000,000
Each Occurrence Limit:	\$1,000,000
Fire damage	\$50,000
Medical expense (Any one person)	\$5,000

1. Workers compensation Insurance:

Naming the carrier, who must be authorized to do business in the State of California. The Contractor shall require all subcontractors to maintain adequate Workers Compensation Insurance.

The Contractor shall not allow any subcontractor to commence work on his subcontract until such subcontractor has provided proof of insurance in the same type and amount as specified for the Contractor, or; the Contractor shall provide policies which insures the activities of all his subcontractors to the same extent as his own.

2. ENDORSEMENTS:

Each Comprehensive or Commercial General Liability policy shall be endorsed with the following specific language:

A. "The SOUTH PLACER MUNICIPAL UTILITY DISTRICT, its officers, agents, employees, and volunteers are to be covered as insured for all liability arising out of the operations by or on behalf of the named insured in the performance of this Agreement."

B. "The insurance provided by the Contractor, including any excess liability or umbrella form coverage, is primary coverage to the DISTRICT with respect to any insurance or self-insurance programs maintained by the DISTRICT and no insurance held or owned by the DISTRICT shall be called upon to contribute to a loss."

C. "This policy shall not be canceled or materially changed without first giving thirty (30) days prior written notice to the DISTRICT."

3. AUTOMOBILE LIABILITY INSURANCE:

Automobile Liability insurance covering bodily injury and property damage in an amount no less than two million dollars (\$2,000,000) combined single limit for each occurrence. Covered vehicles should include owned, non-owned, and hired automobiles, trucks and equipment.

SECTION 8

**BOND FORMS**

**8.1 BOND FOR LABOR AND MATERIAL**

KNOW ALL MEN BY THESE PRESENTS, THAT WE

\_\_\_\_\_ the Contractor in the Contract hereto annexed, as principal, and \_\_\_\_\_ as surety, are held and firmly bound unto the South Placer Municipal Utility District in the sum of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_), lawful money of the United States, for which payment, well and truly to be made, we bind ourselves, jointly and severally, firmly by these presents.

Signed, sealed and dated \_\_\_\_\_.

The condition of the above obligation is that if said principal, its successors or assigns, as Contractor in the Contract hereto annexed, or his or its subcontractor, fails to pay for any materials, provisions, provender or other supplies, or teams, used in, upon, for or about the performance of the work contracted to be done by said Contractor, namely to furnish all tools, equipment, apparatus, facilities, transportation, labor and material necessary to perform and complete, and to perform and complete in a good workmanlike manner, the work of **SPMUD – Root Control Program 2024** in strict conformity with the terms and conditions set forth in the Contract hereto annexed, or for any work or labor done thereon of any kind or for amounts due under the Unemployment Insurance Act with respect to such work or labor, or to make payments to the Franchise Tax Board pursuant to Civil Code, Section 324SA, or to pay any of the persons named in Civil Code 31S1, said surety will pay in addition to the basic obligation herein case suit is brought upon this bond, a reasonable attorney's fee to be awarded and fixed by the courts, and to be taxed as costs and to be included in the judgment therein rendered. This bond is executed in accordance with the requirements of Title XV of the Civil Code and is subject to the provisions thereof, and shall insure to the benefit of any and all persons, companies and corporations entitled to file claims under and by virtue of the provisions of Section 31S1 of the Civil Code, or to their assigns; and the said surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the contract or to the work to be performed there under or the specifications accompanying the same shall, in any wise, affect its obligation on this bond, and it does hereby waive notice of such change, extension of time, alteration or addition to the terms of the contract or to the work or to the specifications.

APPROVED AS TO FORM:

\_\_\_\_\_  
CONTRACTOR  
(Signature must be Notarized)

\_\_\_\_\_  
SURETY Attorney-In-Fact  
(Signature must be Notarized)

Address of Surety \_\_\_\_\_

**BOND FOR FAITHFUL PERFORMANCE**

KNOW ALL MEN BY THESE PRESENTS, THAT WE

\_\_\_\_\_ the Contractor in the Contract hereto annexed, as principal, and \_\_\_\_\_ as surety, are held and firmly bound unto the South Placer Municipal Utility District in the sum of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_), lawful money of the United States, for which payment, well and truly to be made, we bind ourselves, jointly and severally, firmly by these presents.

Signed, sealed and dated \_\_\_\_\_.

The condition of the above obligation is that if said principal as Contractor in the contract hereto annexed shall faithfully perform each and all of the conditions of said contract to be performed by him, and shall furnish all tools, equipment, apparatus, facilities, transportation, labor, and material, other than material, if any, agreed to be furnished by the District, necessary to perform and complete, and to perform and complete in a good workmanlike manner, and to guarantee acceptable performance of the work for a period of one year following the acceptance of the project, the work of, **SPMUD – Root Control Program 2024** , in strict conformity with the terms and conditions set forth in the contract hereto annexed, and after a period of one year following the acceptance of the project, then this obligation shall be null and void, otherwise to remain in full force and effect; and the said surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the contract or to the work to be performed there under or the specifications accompanying the same shall, in any wise, affect its obligation on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the contract or to the work or to the specifications.

Surety further agrees in case suit is brought upon this bond, that it will pay, in addition to the basic obligation herein, a reasonable attorney's fee to be awarded and fixed by the Court, and to be taxed as costs, and to be included in the judgment therein rendered.

APPROVED AS TO FORM:

\_\_\_\_\_  
CONTRACTOR/TITLE  
(Signature must be Notarized)

\_\_\_\_\_  
SURETY Attorney-In-Fact  
(Signature must be Notarized)

Address of Surety \_\_\_\_\_



SECTION 9

**GENERAL CONDITIONS**

**9.1 GENERAL DESCRIPTION OF WORK:** This project includes the application of a chemical root herbicide into sewer mainline and service lateral pipes for controlling root growth within the pipes. (Table A – Mainline Root Foaming List) The locations are various locations within the District service area. This work will require traffic control and may require confined space entries.

The work includes but is not limited to the following:

Applying Chemical Root Treatment to 133 Mainline Pipe Segments: Diameters ranging from 4-inch to 18-inch and accumulative length totaling 33,659 feet.

Refer to Appendices for further detail.

The above tasks will be completed in accordance with drawings, notes, plans, and specifications provided to the Contractor by the District. The District reserves the right to increase and/or decrease quantities at its discretion.

**9.2 LOCATION OF WORK:** The Project is located within the City of Rocklin, Town of Loomis, Penryn and Newcastle, California.

**9.3 TIME OF COMPLETION:** Time is of the essence; the Contractor shall complete this work by June 30, 2024.

**9.4 POINT OF CONTACT (POC):** The following District personnel are available to this project:

<u>Name:</u>	<u>Capacity/Title:</u>	<u>Phone No:</u>
Eric Nielsen	Owner’s Representative/Superintendent	(916) 786-8555 Ext. 310
Carie Huff	District Engineer	(916) 786-8555 Ext. 321
Emilie Costan	Payments	(916) 786-8555 Ext. 111
Josh Pirhofer	Inspector	(916) 297-2630

Eric Nielsen is the Project Manager for this District project and is the Contractor’s primary POC. Additional contact information:

Eric Nielsen                      Project Manager  
Phone:                              (916) 786-8555 Ext. 310  
FAX:                                 (916) 786-8553  
E-mail:                              enielsen@spmud.ca.gov  
Address:                             5807 Springview Drive, Rocklin, CA 95677

**9.5 CONTRACT BONDS:** The Contractor shall provide, at the time of the execution of the agreement or contract for work, and at his own expense, a surety bond ("Performance Bond") in an amount equal to at least 100 percent (100%) of the contract price as security for the faithful performance of said agreement within the time prescribed, in a manner satisfactory to the District, and that all materials and workmanship will be free from original or developed defects. The Contractor shall also provide, at the time of execution of the agreement or contract for the work, and at his own expense, a separate surety bond ("Payment Bond") in an amount equal to at least 100 percent (100%) of the contract price as security for the payment of all persons performing labor and furnishing materials in connection with said agreement. The Contractor shall maintain the Payment Bond in full force and effect until the District accepts the work and until all claims for

materials and labor are paid and shall otherwise comply with Civil Code. Sureties on each of said bonds shall be satisfactory to the District Counsel. Section 8 contains Bond forms acceptable to the District

**9.6 DISPUTE RESOLUTION:** In the event of any dispute between the Contractor and the District regarding payment for or prosecution of the work, the Contractor shall not stop the work but will prosecute the work to completion in the manner directed by the District. All claims for extension of time or payment of money of three hundred seventy five thousand dollars (\$375,000) or less shall be resolved pursuant to the provisions of Article 1.5 of Chapter 1 of Part 3 of the Public Contract Code (commencing with section 20104), unless the Contractor and the District agree in writing to a different manner of resolution; provided, however, the District may elect to utilize the dispute resolution procedures as provided in Article 7.1 of Chapter 1 of Part 2 of the Public Contract Code (commencing with section 10240) by providing the Contractor with a notice of such election prior to the issuance of the final contract payment.

The Contractor shall certify at the time of submission of a claim as follows:

*I certify under penalty of perjury under the laws of the State of California that the claim submitted herewith is made after a good faith investigation of the facts, that the supporting data are accurate and complete and that the amount requested accurately reflects the monies due for work performed under the Contract for which the District is liable.*

By: \_\_\_\_\_  
(Contractor's signature)

Any litigation arising out of this Contract shall be brought in the Superior Court of Placer County, and the Contractor hereby waives the removal provisions of section 394 of the Code of Civil Procedure.

**9.7 SOUND CONTROL REQUIREMENTS:** Sound control shall be in conformance with the local governing authority.

**9.8 PRE-CONSTRUCTION CONFERENCE:** Prior to commencing work, a pre-construction meeting will be held for discussing with the Contractor the scope of work, plans, specifications, existing conditions, and all essential matters pertaining to the execution and the satisfactory completion of this project. The Contractor's representative at this meeting shall include the job Superintendent and the on-site Supervisor, who will be directly involved in the work, or who shall oversee and direct the work of other contracted staff.

**9.9 CONTRACT WORKING HOURS:** Contract working hours shall be limited to 7:00 A.M. to 5:00 P.M., Monday through Thursday, and 7:00 A.M. to 4:00 P.M. Friday excluding Holidays and weekends unless otherwise approved by the District.

**9.10 OVERTIME:** Contractor shall pay the overtime costs incurred by the District, if any, at the rate of \$146.06/hour. For District employees, the regular work day starts at 7:00 AM M-F and ends at 4:30 PM Monday – Thursday and 3:30 PM on Friday.

**9.11 STAGING:** The District will provide staging space at its Corporation Yard located at: 5807 Springview Drive, Rocklin, CA 95677. Any additional areas required by the Contractor shall be his responsibility to provide. Availability of the Corporation Yard will be limited to Contract Working Hours.

**9.12 INSPECTION:** All material, equipment and worked performed will be inspected to insure compliance with the plans and specification requirements.

**9.13 ACCEPTANCE:** The District will accept the project upon satisfactory completion of all work as described in the plans and specifications.

**9.14 PROGRESS PAYMENT INVOICING INSTRUCTIONS:** Upon completion of work or delivery of items, the Contractor is to submit an invoice to the Project Manager or his designated representative for certification of work completed or delivery in satisfactory manner. Progress payments may be made upon submittal of a monthly billing and ten percent (10%) retention of the billed amount. Request for payment must be submitted to the District by the 5<sup>th</sup> day of each month for the prior calendar months' work for verification and approval by the District.

**9.15 RETENTION / SECURITY:** Pursuant to Public Contract Code Section 22300, for monies earned by the Contractor and withheld by the District to ensure the performance of the Contract, the Contractor may, at its option, choose to substitute securities meeting the requirements of Public Contract Code Section 22300, or have the retained, earned monies deposited in an escrow account at a federal or state chartered bank.

## SECTION 10

### **SPECIAL PROVISIONS**

**10.0 REFERENCED STANDARDS AND CODES:** The Standards and Codes applicable to the work to be constructed include, but are not limited to the following:

**DISTRICT STANDARD SPECIFICATIONS:** The Standard Specifications and Improvement Standards for Sanitary Sewers of the South Placer Municipal Utility District, latest edition.

**STATE STANDARD SPECIFICATIONS:** The 2006 edition of the Standard Specifications of the State of California, Department of Transportation. Reference is made to Section 1 of the State Standard Specifications for other pertinent definitions.

**MANUFACTURER'S SPECIFICATIONS:** The specifications for materials, design, installation, preparation, etc., for the products involved in this work.

**10.1 DEFINITIONS AND TERMS:** Whenever the following underlined terms (or similar) are used in the Codes or Standards, or in any documents or instruments where the Codes and Standards govern, the following terms or pronouns in place of them are used, with the intent and meaning to be interpreted as follows:

Agency/State/Owner: **DISTRICT:** The South Placer Municipal Utility District.

Engineer/Architect: **District Engineer:** The District Engineer of South Placer Municipal Utility District or his/her duly designated District representative.

**10.2 SPECIAL CONDITIONS:** Provide all work and materials in full accordance with the latest rules and regulations of the California Administrative Code, OSHA requirements, the latest editions of the Standard Specifications and Codes, and all other applicable laws or regulations.

Furnish without extra charge any additional material or labor required to comply with these rules and regulations, whether shown, specified or not. In the event these Specifications require materials of greater weight, quality or quantity than indicated by Plan or Code requirements, the Specifications shall apply.

All work under this contract shall be typically performed to achieve the highest standard of each and every trade involved whether directly specified or not.

**10.3 MATERIALS, SERVICES AND FACILITIES:** Except as otherwise specifically stated in the contract documents, the Contractor shall provide and pay for all materials, labor, tools equipment, light, power, transportation, supervision, temporary construction of any nature, and all other services and facilities necessary to complete and deliver the work within the time specified.

**10.4 PERMITS:** The Contractor shall obtain an Encroachment Permit from the governing agency whose jurisdiction the work is to be performed:

**City of Rocklin**

4081 Alvis Court  
Rocklin, CA. 95677  
(916) 625-5500

**Town of Loomis**

3665 Taylor Rd  
Loomis, CA 95650  
(916) 652-1840

**Placer County**

(for Communities of Penryn and Newcastle)  
Engineering and Survey Department  
3091 County Center Drive  
Auburn, CA 95603  
(530) 745-3110

Encroachment Permits shall be maintained on the job-site, and a copy provided to the District prior to start of work.

Water Use:

Should water be necessary for the root control process, contact Placer County Water Agency to obtain a Hydrant Meter Permit.

**Placer County Water Agency**

114 Ferguson Road  
Auburn, CA 95604  
(530) 823-4850

Hydrant Meter permit shall be maintained on the job-site, and a copy provided to the District prior to use.

**10.5 NOTICE TO RESIDENTS:** Contractor shall provide 48-hour advanced notice to affected residents of the work that will be performed on their property.

**10.6 REGULATORY COMPLIANCE:** The Contractor shall provide all appropriate safety equipment required by U.S. OSHA and Cal OSHA for confined space entries and traffic control. Evidence of training for permit required Confined Spaces and Traffic Control shall be submitted to the District for their records at the time the contract is awarded.

The District shall stop work activities if inappropriate safety equipment and traffic control devices are not in use or safety procedures outlined in these Special Provisions, the District Standard Specifications, the State Standard Specifications, and as required by federal and state OSHA and State Labor Code are not adhered to. Work stoppage under these circumstances shall not be considered billable to the District.

**10.7 MANHOLE ENTRY:** All entries into active sanitary sewer manholes are 'Permit Required' confined space entries and said entries shall comply with all U.S. OSHA and CAL OSHA safety requirements. These entries shall apply to Contractor's, sub-contractors, their employees, and corporate officers. It shall be the responsibility of the contractor to conform to these safety requirements and provide all the necessary confined space entry equipment. The Contractor shall provide a copy of each completed confined space entry permit to the District upon demand. In addition, as stated in Section 10.7 "Regulatory Compliance", Contractor shall provide to District

evidence of completion of confined space training requirements as per Federal Regulation 1910.146 - Permit - Required Confined Spaces.

Full compensation for conforming to the requirements of this section shall be considered as included in the payments for the contracted unit cost pricing and no additional compensation will be allowed.

**10.8 TRAFFIC CONTROL:** Traffic control requirements shall be dictated by encroachment permit issued by the local governing agency. Personal vehicles of the Contractor's employees shall not be parked on the traveled way or shoulders, including any section closed to public traffic. Contractor is responsible to familiarize themselves with root foam application sites and all conditions affecting traffic control. Labor and equipment used for traffic control operations shall be provided by the Contractor and included into the contracted (unit cost) pricing.

**10.9 CLEAN UP:** Work sites shall be maintained in a clean and orderly manner throughout project in so far as possible. At the end of each workday, work sites shall be returned, at a minimum, to their pre-construction condition.

**10.10 CHEMICAL SPILL RESPONSE PLAN:** Prior to commencement of work, Contractor shall submit to the District for approval, a detailed spill response plan appropriate for the application and type of chemical used.

## SECTION 11

### TECHNICAL SPECIFICATIONS

#### 11.01 SEWER LINE CHEMICAL ROOT TREATMENT (Foaming Method, by NASSCO)

- A. Intent: The intent of chemical root treatment is to kill tree roots in sanitary sewer lines and to inhibit root re-growth without damaging the trees, the environment, or the treatment plant.
- B. Reference Specifications: The chemical root treatment material shall be EPA registered and labeled for use in sewer lines and acceptable to the state agencies having jurisdiction over its use.

The Contractor shall submit a specimen product label of the material to be used in chemical root treatment to the Engineer with his bid or proposal.

All materials and mixing/application procedures for chemical root treatment shall be consistent with the latest standards, requirements, and recommendations of the manufacturer of the chemical root treatment material used.

- C. Materials: The active ingredient for killing roots shall be a non-systemic herbicide which will kill roots at low concentrations, but which will not permanently affect parts of the plant distant from the treated roots. The active ingredient must be spontaneously detoxified by natural chemical/biochemical processes following its use.  
**Manufacturer's maximum use guidelines should always be observed.**

The active ingredient for inhibiting root regrowth in sanitary sewers shall inhibit root cell growth on contact but shall not be transported so as to damage other portions of the plant. The material shall form a persistent chemical barrier suppressing the growth of root tips. The material shall be sufficiently stable under conditions of use to provide protection for twelve months but shall be subject to decomposition in wastewater treatment plants without disturbing plant processes.

To improve transportation of the active ingredients into root tissues, the root treatment material shall contain emulsifiers to degrease root masses and remove fatty acids from root tissue and surfactants to convert an aqueous solution of the root treatment agent into a volatile foam when using the proper aeration equipment. This method insures root treatment material is held in line until chemical reaction is complete and roots are fully exposed to chemical.

- D. Precautions and Responsibility: The Contractor's attention is directed to the safety requirements and precautions associated with the use of the root treatment material.

The Contractor is required to be knowledgeable of and in compliance with federal and state requirements relative to the root treatment material and its use. Compliance with federal state law shall supersede compliance with the provisions of this contract.

Mixing and application of the root treatment material shall be done under the supervision of a state-certified pesticide (herbicide) applicator as required by law.

The Contractor shall use precautions for the protection of all persons, vegetation, animals, and property. The Contractor is responsible for damage to private property and vegetation.

## **11.02 SUBMITTALS**

A. The Contractor shall provide shop drawings, product data, and other pertinent information as follows:

1. Safety Data Sheet (SDS)
2. Product Specimen Label.
3. Evidence of qualifications to apply pesticide in Placer County.

B. Experience and Qualifications

Bidders must be licensed with the California Department of Pesticide Regulation (hereafter, CDPR) prior to the bid date

1. Applicator license/certification with the CDPR.
2. Experience records to demonstrate a minimum 100,000 linear feet of direct experience in applying chemical sewer root control of the type specified.
3. Project experience to indicate the staffing and equipment capable of performing work consistent with the needs of this contract.

## **11.03 TRANSPORTATION, STORAGE, AND PROTECTION**

All materials shall be transported, stored, and protected in accordance with manufacturer's recommendations and applicable Federal and State guidelines.

## **11.04 ROOT CONTROL PRODUCT**

A. The root control product shall be registered with the US EPA and the CDPR, prior to the bid opening, and shall be labeled for use in sewers to control tree roots. The root control product shall contain an active ingredient for killing sewer roots and controlling their regrowth. The following products, or an approved equal, shall be used:

1. Razorooter II
2. Sanafoam Vaporooter II

B. Proven Equivalents:

Should the Contractor wish to use any product other than specified herein, must submit complete descriptive literature naming the proposed substitution and manufacturer and must be approved in writing prior to the bid date.



## **11.05 MANNER OF APPLICATION**

- A. All work must be performed by persons qualified to do so and be performed according to label instructions. All applications shall be done by foaming or methods provided on the product label.

The application of the product shall be performed in such a way as to contact roots within the main line sewer to be treated. Effort will also be made to penetrate lateral sewers to contact roots residing in the service lateral connections. Foam quality must be sufficient to effectively treat all pipe diameters and foam must be mechanically produced.

## **11.06 REPORTS ON COMPLETED WORK TO BE PROVIDED BY THE CONTRACTOR**

- A. Upon completion of the project and accompanying the invoice, or whenever requested to by the Owner, the Contractor shall submit reports which show the following information:

1. The name of the Owner
2. The report dates
3. The date each given sewer line was treated
4. The SPMUD Asset ID for each line treated
5. The pipe size for each given sewer line
7. The length (manhole to manhole) for each given sewer line

## **11.07 GUARANTEE REQUIREMENTS**

For each sewer section (manhole-to-manhole) that is treated under the Contract, the Contractor shall guarantee the work as follows.

The Contractor shall, at his own expense, re-treat a sewer section, in the event that: (1) live roots are found in the section within six months after Project Acceptance by the District or, (2) the section plugs up due to tree root obstructions within a period of two years beginning on the Project Acceptance date.

Retreatments, performed at no charge in honor of the guarantee, do not extend the expiration date of the guarantee. Retreatments shall be performed within 30 days of notification of the District unless the time is otherwise extended at the sole discretion of the District.

The guarantee applies only to main line sewer stoppages caused by tree roots. It does not apply to stoppages caused by grease or other foreign matter; flat, collapsed or deformed pipe; or flooding caused by a surcharged or plugged sewer section downstream from a guaranteed sewer section. The Contractor is not responsible for damage caused by main line stoppages.

The decision of the Owner as to the cause of a stoppage shall be binding.

The Contractor shall be required to return within 30 days of notification, at the Contractor's sole expense, for the purpose of performing free re-treatments as required under the guarantee.

**END OF SECTION**

## **Appendix A**

### **Table A**

#### **Root Control List – Mainline Pipe**

Table 'A'

## SPMUD - Root Control Program 2022

Item	Up Manhole	Up MH Location	Down Manhole	Down MH Location	Pipe Length	Pipe Diameter	Notes	Encroachment Permitting Jurisdiction
1	FR-10	3995 BANKHEAD	L11-003	3995 BANKHEAD	80	12	Low Volume/Low Speed Road	Rocklin
2	H06-042	2620 SADDLETREE	H07-059	2700 SADDLETREE	252	6	Low Volume/Low Speed Road	Rocklin
3	H06-079	6801 FIVE STAR	H06-078	6801 FIVE STAR	98	8	Commercial Parking Lot	Rocklin
4	H07-057	6235 RAINIER	H07-058	6325 RAINIER	306	6	Low Volume/Low Speed Road	Rocklin
5	H07-060	6345 RAINIER	H07-058	6325 RAINIER	281	6	Low Volume/Low Speed Road	Rocklin
6	H07-061	6403 RAINIER	H07-060	6345 RAINIER	233	6	Low Volume/Low Speed Road	Rocklin
7	H07-091	6084 BROOKSIDE	H07-092	6068 BROOKSIDE	121	6	Low Volume/Low Speed Road	Rocklin
8	I06-067	6218 CAMEO	I06-084	6220 CAMEO	40	15	Low Volume/Low Speed Road	Rocklin
9	I06-133	S WHITNEY & SPRINGVIEW	I06-169	S WHITNEY & SPRINGVIEW	17	10	Stop-Sign-Controlled Intersection	Rocklin
10	I06-142	6721 FIVE STAR	I06-141	6731 FIVE STAR	131	8	Commercial Parking Lot	Rocklin
11	I06-143	6710 FIVE STAR	H06-071	6800 FIVE STAR	209	8	Commercial Parking Lot	Rocklin
12	I06-146	5600 CASA GRANDE	I06-147	5436 CASA GRANDE	308	6	Low Volume/Low Speed Road	Rocklin
13	I07-052	6225 RAINIER	H07-057	6235 RAINIER	303	6	Low Volume/Low Speed Road	Rocklin
14	J07-003	3040 UNION	J07-005	3046 UNION	134	10	Low Volume/Low Speed Road	Rocklin
15	J07-005	3046 UNION	J07-006	EASEMENT	346	10	Easement Road	Rocklin
16	J07-007	EASEMENT	J07-060	EASEMENT	448	18	Easement Road	Rocklin
17	J07-008	EASEMENT	J07-007	EASEMENT	462	18	Easement Road	Rocklin
18	J07-011	EASEMENT	J07-058	EASEMENT	233	15	Easement Road	Rocklin
19	J07-012	EASEMENT	J07-013	EASEMENT	440	18	Easement Road	Rocklin
20	J07-019	5430 WHITNEY	I07-032	WHITNEY & PARAGON	298	8	Low Volume/Low Speed Road	Rocklin
21	J07-020	5375 WHITNEY	J07-019	5430 WHITNEY	294	8	Low Volume/Low Speed Road	Rocklin
22	J07-021	5330 WHITNEY	J07-020	5375 WHITNEY	403	8	Low Volume/Low Speed Road	Rocklin
23	J07-028	5240 PARAGON	J07-022	WHITNEY & PARAGON	381	8	Low Volume/Low Speed Road	Rocklin
24	J07-033	2560 LODGE STAR	J07-032	5395 PARAGON	168	8	Low Volume/Low Speed Road	Rocklin
25	J07-061	EASEMENT	J07-064	EASEMENT	174	10	Easement Road	Rocklin
26	J07-F03	4980 WHITNEY	J07-026	5000 WHITNEY	131	8	Low Volume/Low Speed Road	Rocklin
27	J08-054	4360 WILLOWGLEN	J08-055	4355 WILLOWGLEN	167	18	Low Volume/Low Speed Road	Rocklin
28	K07-002	4385 MIDAS	K07-003	4445 MIDAS	423	8	Low Volume/Low Speed Road	Rocklin
29	K07-016	4628 WHITNEY	K07-018	2625 BONANZA	230	8	Low Volume/Low Speed Road	Rocklin
30	K07-038	4905 TOPAZ	K07-043	WHITNEY & TOPAZ	370	8	Low Volume/Low Speed Road	Rocklin
31	K07-059	3005 ARGONAUT	K07-060	3050 ARGONAUT	274	6	Low Volume/Low Speed Road	Rocklin
32	K08-024	4700 KENNEDY	K08-023	3360 ARGONAUT	445	6	Low Volume/Low Speed Road	Rocklin
33	K08-027	EASEMENT	K08-026	3400 ARGONAUT	141	6	Low Volume/Low Speed Road	Rocklin
34	K08-033	3335 MIDAS	K08-031	MIDAS & ARGONAUT	422	8	Low Volume/Low Speed Road	Rocklin
35	L07-001	4290 MIDAS	L07-084	4340 MIDAS	402	8	Low Volume/Low Speed Road	Rocklin
36	L07-005	WHITNEY	L07-006	WHITNEY	357	10	35 MPH Road	Rocklin
37	L07-083	4525 MIDAS	L07-001	4290 MIDAS	377	8	Low Volume/Low Speed Road	Rocklin
38	L07-084	4340 MIDAS	K07-002	4385 MIDAS	402	8	Low Volume/Low Speed Road	Rocklin
39	L07-F01	4235 MIDAS	L07-083	4525 MIDAS	97	8	Low Volume/Low Speed Road	Rocklin
40	L08-021	3300 COPPER	L08-020	4160 CLOVER VALLEY	253	6	Low Volume/Low Speed Road	Rocklin
41	L08-023	3300 QUARTZ	L08-022	4220 CLOVER VALLEY	250	6	Low Volume/Low Speed Road	Rocklin
42	L08-028	4220 MIDAS	L08-029	MIDAS & RAWHIDE	212	6	Low Volume/Low Speed Road	Rocklin
43	L08-F02	CLOVER VALLEY & SILVER	L08-009	4010 CLOVER VALLEY	151	6	Low Volume/Low Speed Road	Rocklin
44	L08-F03	3990 CLOVER VALLEY	L08-009	4010 CLOVER VALLEY	206	6	Low Volume/Low Speed Road	Rocklin
45	L10-010	4130 CITRUS	L10-008	4151 CITRUS	384	8	Low Volume/Low Speed Road	Rocklin

Table 'A'

## SPMUD - Root Control Program 2022

Item	Up Manhole	Up MH Location	Down Manhole	Down MH Location	Pipe Length	Pipe Diameter	Notes	Encroachment Permitting Jurisdiction
46	L11-050	3995 BANKHEAD	FR-10	3995 BANKHEAD	13	12	Low Volume/Low Speed Road	Loomis
47	L12-038	3880 HOWARD	L12-012	EASEMENT	374	6	Low Volume/Low Speed Road	Loomis
48	M09-008	3805 CLOVER VALLEY	M09-009	3835 CLOVER VALLEY	269	6	Low Volume/Low Speed Road	Rocklin
49	M11-009	SIERRA COLLEGE & BANKHEAD	M11-010	3941 BANKHEAD	396	12	Low Volume/Low Speed Road	Loomis
50	M11-014	3791 BANKHEAD	M11-036	3847 BANKHEAD	138	8	Low Volume/Low Speed Road	Loomis
51	M11-015	3769 BANKHEAD	M11-014	3791 BANKHEAD	389	8	Low Volume/Low Speed Road	Loomis
52	M11-016	3691 BANKHEAD	M11-028	3739 BANKHEAD	315	8	Low Volume/Low Speed Road	Loomis
53	M11-017	3691 BANKHEAD	M11-016	3691 BANKHEAD	66	8	Low Volume/Low Speed Road	Loomis
54	M11-021	5455 SAUNDERS	M11-002	5350 SAUNDERS	335	8	Low Volume/Low Speed Road	Loomis
55	M11-029	3661 BANKHEAD	M11-017	3691 BANKHEAD	315	8	Low Volume/Low Speed Road	Loomis
56	M12-001	5629 SAUNDERS	M12-069	5475 SAUNDERS	471	8	Low Volume/Low Speed Road	Loomis
57	M12-002	5715 SAUNDERS	M12-001	5629 SAUNDERS	279	8	Low Volume/Low Speed Road	Loomis
58	M12-005	3699 BERG	M12-002	5715 SAUNDERS	541	6	Low Volume/Low Speed Road	Loomis
59	M12-006	3699 BERG	M12-005	3699 BERG	203	6	Low Volume/Low Speed Road	Loomis
60	M12-015	5844 WALNUT	M12-014	WALNUT & MAGNOLIA	175	6	Low Volume/Low Speed Road	Loomis
61	M12-016	TAYLOR & WALNUT	M12-066	3717 TAYLOR	188	8	25 MPH, Lane Closure	Loomis
62	M12-018	TAYLOR & OAK	M12-046	3785 TAYLOR	440	8	25 MPH, Lane Closure	Loomis
63	M12-019	OAK & MAGNOLIA	M12-020	5906 OAK	135	6	Low Volume/Low Speed Road	Loomis
64	M12-022	5950 OAK	M12-065	5965 OAK	166	6	Low Volume/Low Speed Road	Loomis
65	M12-045	3793 TAYLOR	M12-044	TAYLOR & CIRCLE	372	8	25 MPH, Lane Closure	Loomis
66	M12-046	3785 TAYLOR	M12-045	3793 TAYLOR	222	8	25 MPH, Lane Closure	Loomis
67	M12-066	3717 TAYLOR	M12-018	TAYLOR & OAK	291	8	25 MPH, Lane Closure	Loomis
68	M12-096	5465 SAUNDERS	M11-021	5455 SAUNDERS	331	8	Low Volume/Low Speed Road	Loomis
69	M12-F15	3799 MAGNOLIA	M12-F02	3900 CIRCLE	218	6	Low Volume/Low Speed Road	Loomis
70	M13-002	6076 HORSESHOE BAR	M13-003	6130 HORSESHOE BAR	292	6	25 MPH, Lane Closure	Loomis
71	M13-003	6130 HORSESHOE BAR	M13-004	HORSESHOE BAR RD OVERCROSSING	378	6	25 MPH, Lane Closure	Loomis
72	M13-009	EASEMENT	M13-014	EASEMENT	361	10	Easement Road	Loomis
73	M13-010	EASEMENT	M13-009	EASEMENT	278	10	Easement Road	Loomis
74	N11-005	5372 KING	N11-004	5370 KING	136	12	Low Volume/Low Speed Road	Loomis
75	N11-014	3449 REYMAN	N11-005	5372 KING	391	6	Low Volume/Low Speed Road	Loomis
76	N11-017	3570 BANKHEAD	N11-001	3614 BANKHEAD	366	8	Low Volume/Low Speed Road	Loomis
77	N11-F03	3387 REYMAN	N11-013	3403 REYMAN	179	6	Low Volume/Low Speed Road	Loomis
78	N12-018	5929 SAUNDERS	N12-019	5845 SAUNDERS	341	6	Low Volume/Low Speed Road	Loomis
79	N12-019	5845 SAUNDERS	N12-107	SAUNDERS & MCALLEN	491	6	Low Volume/Low Speed Road	Loomis
80	N12-039	3439 MARGARET	N12-041	5809 PEARSON	269	6	Low Volume/Low Speed Road	Loomis
81	N12-052	3594 BOONE	M12-003	5715 SAUNDERS	450	6	Low Volume/Low Speed Road	Loomis
82	N12-055	5693 CUTLER	N12-054	3436 FRANCIS	194	6	Low Volume/Low Speed Road	Loomis
83	N12-076	5578 JOAN	N11-010	3440 COLVIN	372	6	Low Volume/Low Speed Road	Loomis
84	N12-082	5775 HORSESHOE BAR	M12-017	3690 HORSESHOE BAR	463	6	Low Volume/Low Speed Road	Loomis
85	N12-083	3636 TAYLOR	N12-082	5775 HORSESHOE BAR	93	6	Low Speed Road	Loomis
86	N12-085	TAYLOR & WEBB	N12-109	HORSESHOE BAR	424	6	25 MPH, Lane Closure	Loomis
87	N12-105	5742 CRAIG	N12-043	3484 FRANCIS	368	6	Low Volume/Low Speed Road	Loomis
88	N12-F01	5968 SAUNDERS	N12-018	5929 SAUNDERS	215	6	Low Volume/Low Speed Road	Loomis
89	N12-F06	5852 CRAIG	N12-105	5742 CRAIG	317	6	Low Volume/Low Speed Road	Loomis
90	N12-F09	3405 MARGARET	N12-060	3381 MARGARET	261	6	Low Volume/Low Speed Road	Loomis

Table 'A'

## SPMUD - Root Control Program 2022

Item	Up Manhole	Up MH Location	Down Manhole	Down MH Location	Pipe Length	Pipe Diameter	Notes	Encroachment Permitting Jurisdiction
91	N13-007	3431	N13-009	6147 CAMPHOR	249	10	Easement/Yard	Loomis
92	N13-008	3390 TAYLOR	N13-052	3431 TAYLOR	50	6	Edge of Road	Loomis
93	N13-017	EASEMENT	N13-034	EASEMENT	218	10	Elementary School Ball Field	Loomis
94	N13-F03	5980 WEBB	N12-085	TAYLOR & WEBB	232	6	Low Volume/Low Speed Road	Loomis
95	O12-057	5930 KEY	O12-058	5950 JETTON	222	8	Parking Lot	Loomis
96	P15-008	TAYLOR & PENRYN	P15-009	TAYLOR & PENRYN	86	8	Off Pavement	Placer County
97	S17-003	1250 KENTUCKY GREENS	S17-004	1285 RED RAVINE	219	8	Low Volume/Low Speed Road	Placer County
98	S17-005	1280 RED RAVINE	S17-006	EASEMENT	320	8	Low Volume/Low Speed Road	Placer County
99	S17-010	CARDOSA	S17-009	EASEMENT	161	8	Off Easement	Placer County
100	S17-012	RED RAVINE / EASEMENT	S17-011	RED RAVINE / EASEMENT	175	8	Off Easement	Placer County
101	S17-013	RED RAVINE / EASEMENT	S17-012	RED RAVINE / EASEMENT	237	8	Off Easement	Placer County
102	S17-015	RED RAVINE / EASEMENT	S17-022	RED RAVINE / EASEMENT	113	8	Off Easement	Placer County
103	S17-019	RED RAVINE / EASEMENT	S17-018	RED RAVINE / EASEMENT	313	8	Off Easement	Placer County
104	S17-020	RED RAVINE / EASEMENT	S17-019	RED RAVINE / EASEMENT	152	8	Off Easement	Placer County
105	S17-022	RED RAVINE / EASEMENT	S17-014	RED RAVINE / EASEMENT	126	8	Off Easement	Placer County
106	S18-005	1250 KENTUCKY GREENS	S17-003	1250 KENTUCKY GREENS	394	8	Private Driveway	Placer County
107	S18-014	1245 KENTUCKY GREENS	S18-013	1225 KENTUCKY GREENS	223	8	Private Driveway	Placer County
108	S18-015	EASEMENT	S18-014	1245 KENTUCKY GREENS	283	8	Private Driveway	Placer County
109	S18-016	EASEMENT	S18-015	EASEMENT	107	8	Off Easement	Placer County
110	S18-019	EASEMENT	S18-018	EASEMENT	257	8	Off Easement	Placer County
111	S18-020	EASEMENT	S18-019	EASEMENT	263	8	Off Easement	Placer County
112	S18-021	EASEMENT	S18-020	EASEMENT	184	8	Off Easement	Placer County
113	S18-022	EASEMENT	S18-021	EASEMENT	219	8	Off Easement	Placer County
114	S18-029	NEWCASTLE	S18-030	KELLOGG	490	8	Off Easement	Placer County
115	S18-031	KELLOGG	S18-019	EASEMENT	371	8	Off Easement	Placer County
116	T17-001	RED RAVINE	S17-020	RED RAVINE	55	8	Off Easement	Placer County
117	T17-002	RED RAVINE	T17-001	RED RAVINE	160	8	Off Easement	Placer County
118	T18-009	9314 CHANTRY HILL	T18-007	9300 CHANTRY HILL	483	6	Parking Lot / Low Volume/Low Speed Road	Placer County
119	T18-013	300 TAYLOR	T18-014	280 TAYLOR	157	6	Off Pavement	Placer County
120	T18-041	469 THRELKEL	T18-X16	EASEMENT	116	6	Low Volume/Low Speed Road	Placer County
121	T18-042	EASEMENT	T18-X18	EASEMENT	43	6	Easement/Yard	Placer County
122	T18-045	9042 HOWELL	T18-022	9060 OLD STATE HWY	189	6	Low Volume/Low Speed Road	Placer County
123	T18-080	505 MAIN	T18-135	9241 OLD STATE HWY	88	6	Low Volume/Low Speed Road	Placer County
124	T18-091	9101 VALLEY VIEW	T18-048	9150 VALLEY VIEW	297	6	Low Volume/Low Speed Road	Placer County
125	T18-136	501 MAIN	T18-080	505 MAIN	96	6	Low Volume/Low Speed Road	Placer County
126	T18-F02	320 TAYLOR	T18-014	280 TAYLOR	186	6	Off Pavement/Edge of Road	Placer County
127	T18-F25	9101 LINCOLN NEWCASTE HWY	T18-013	300 TAYLOR	260	6	Off Pavement/Edge of Road	Placer County
128	T18-X10	191 BUENA VISTA	T18-032	570 TAYLOR	87	4	Off Pavement/Edge of Road	Placer County
129	T18-X16	EASEMENT	T18-063	9001 OLD STATE HWY	135	6	Off Pavement/Edge of Road	Placer County
130	T18-X22	OLD STATE HWY & ORANGE	T18-044	SOUTH END OF ORANGE	130	6	Low Volume/Low Speed Road	Placer County
131	T19-002	9536 PARK	T19-001	9438 PARK	98	6	Low Volume/Low Speed Road	Placer County
132	T19-F02	9603 TUNNEL	T19-003	9619 TUNNEL	243	6	Low Volume/Low Speed Road	Placer County
133	T19-X05	9536 PARK	T19-002	9536 PARK	43	6	Low Volume/Low Speed Road	Placer County

## **Appendix B**

### **Facility Maps**

The link below can be used to access the project web map which shows the location of the mainline pipes to be treated.

[Root Control Web Map](#)

The Item Numbers in Table A relate to the number callouts on the mainline pipes in the project web map.

The project web map is available for viewing through the internet. The web map is provided as a convenience to potential bidders. The Contractor is responsible for familiarizing themselves with the root foam application sites and conditions.

The project web map is also available for viewing in the South Placer Municipal Utility District office at 5807 Springview Drive, Rocklin, CA 95677 during normal business hours. A potential bidder wishing to view the project web map must call the Point of Contact (POC) to schedule an appointment for viewing.

SECTION 2

**BID FORM**

<b>TITLE</b>
Sealed Bids covering the work described in the attached documents entitled:

**SPMUD – Root Control Program 2024**

are being accepted at the South Placer Municipal Utility District office, located at 5807 Springview Drive, CA 95677 until 1:00 p.m. on March 15, 2024. Information may be obtained from the District at (916) 786-8555 between 8:00 a.m. – 3:30 p.m. M-F.

<b>BID</b> (This section to be completed by bidder.)	<b>DATE:</b>
--	--------------

The undersigned agrees, if this bid is accepted, to complete the work specified in strict accordance with the contract documents by June 30, 2024.

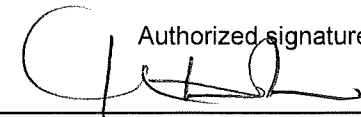
BID: \$ \$62,947.58 (TOTAL SUM)

Amount in words: Sixty-Two Thousand Nine Hundred Forty-Seven Dollars  
and Fifty-Eight Cents dollars

This includes all applicable taxes and fees. Bids are to be submitted for the entire work on this Bid Form. The bidder shall attach his Bid Schedule with his bid. Discrepancies between words and figures will be resolved so that the written words shall be binding on the bidder. If this bid shall be accepted and the undersigned shall fail to enter into the contract within 10 business days after the bidder has received notice from the District that the contract has been awarded, the District may, at its option, determine that the bidder has abandoned the contract, and thereupon this bid and the acceptance thereof shall be null and void and the forfeiture of such bid security accompanying the acceptance thereof shall operate and same shall be the property of the South Placer Municipal Utility District. The undersigned further agrees, for any contract award resulting from this bid, to furnish evidence of insurance acceptable to the District.

Bidder's comments and exceptions:

**BIDDER INFORMATION**

Name and address of bidder: Duke's Root Control, Inc.	 Authorized signature
400 Airport Road, Suite E Elgin, Illinois 60123	
Phone No.: (800) 447-6687	Signers name and title (type or print) Matt Fishbune, President & CEO
License No.	
Fax No.:	

**BID SCHEDULE****SPMUD – Root Control Program 2024**

	<b>DESCRIPTION</b>	<b>LINE COUNT</b>	<b>QTY</b>	<b>UNIT</b>	<b>UNIT COST</b>	<b>ITEM COST</b>
1	Apply Root Foam to 4-inch mainline segments	1	87	L.F.	\$1.69	\$147.03
2	Apply Root Foam to 6-inch mainline segments	57	14,161	L.F.	\$1.69	\$23,932.09
3	Apply Root Foam to 8-inch mainline segments	56	14,864	L.F.	\$1.69	\$25,120.16
4	Apply Root Foam to 10-inch mainline segments	9	2,132	L.F.	\$2.16	\$4,605.12
5	Apply Root Foam to 12-inch mainline segments	4	626	L.F.	\$2.36	\$1,477.36
6	Apply Root Foam to 15-inch mainline segments	2	273	L.F.	\$3.13	\$854.49
7	Apply Root Foam to 18-inch mainline segments	4	1,517	L.F.	\$4.49	\$6,811.33

**TOTAL****\$62,947.58****NOTES:**

- a) Mobilization/Demobilization is included in the unit cost.
- b) Permits: Contractor is responsible to obtain (1) encroachment permit from governing agency (listed in Table A) and provide traffic control measures, as required by encroachment permit and (2) water permit from Placer County Water Agency. These costs shall be considered included in the unit cost for the application of root foam.
- c) Entry into any District sewer manholes are permit required confined space entries. All costs associated are included in the unit cost.

Refer to Appendices for further details. The Item numbers in the Tables relate to the number callouts on the project web map that can be found at the following url.

<https://lucity.spmud.com/portal/apps/webappviewer/index.html?id=fc94f4b2f78a4232bb2b8796adac8fdb>

All labor, equipment, materials, plant, supervision and all other items and incidentals that are required to complete this job in accordance with the plans and specifications are included in the items in the Bid Schedule and no additional compensation will be made by the District.



SECTION 3

**LIST OF SUBCONTRACTORS**

The Bidder shall list the name and address of each subcontractor, required to be listed by the provisions in Section 2-1.054, "Required Listing of Proposed Subcontractors," of the State Standard Specifications, to whom the Bidder proposes to subcontract portions of the work. *The California Contractor License Designation and number shall be included for all subcontractors doing work more than \$5,000.*

Name:	None.	License Designation / Nbr.:
Address:		
% of Work Subcontracted per Bid Item:		
Description of Portion of Work Subcontracted w/Applicable Bid Items:		
Name:	None.	License Designation / Nbr.:
Address:		
% of Work Subcontracted per Bid Item:		
Description of Portion of Work Subcontracted w/Applicable Bid Items:		
Name:	None.	License Designation / Nbr.:
Address:		
% of Work Subcontracted per Bid Item:		
Description of Portion of Work Subcontracted w/Applicable Bid Items:		
Name:	None.	License Designation / Nbr.:
Address:		
% of Work Subcontracted per Bid Item:		
Description of Portion of Work Subcontracted w/Applicable Bid Items:		
Name:	None.	License Designation / Nbr.:
Address:		
% of Work Subcontracted per Bid Item:		
Description of Portion of Work Subcontracted w/Applicable Bid Items:		

SECTION 4

**COMPLIANCE STATEMENTS**

**CERTIFICATE OF COMPLIANCE WITH LABOR CODE § 3700**

I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.

**PUBLIC CONTRACT SECTION 10232 STATEMENT**

In accordance with Public Contract Code Section 10232, the Contractor, hereby states under penalty of perjury, that no more than one final unappealable finding of contempt of court by a federal court has been issued against the Contractor within the immediately preceding two year period because of the Contractor's failure to comply with an order of a federal court which orders the Contractor to comply with an order of the National Labor Relations Board.

**TITLE 49, CODE OF FEDERAL REGULATIONS, PART 29  
DEBARMENT AND SUSPENSION CERTIFICATION**

The bidder, under penalty of perjury, certifies that, except as noted below, he/she or any person associated therewith in the capacity of owner, partner, director, officer, and manager:

- is not currently under suspension, debarment, voluntary exclusion, or determination of ineligibility by any federal agency;
- has not been suspended, debarred, voluntarily excluded or determined ineligible by any federal agency within the past 3 years;  
does not have a proposed debarment pending; and
- has not been indicted, convicted, or had a civil judgment rendered against it by a court of competent jurisdiction in any matter involving fraud or official misconduct within the past 3 years.

If there are any exceptions to this certification, insert the exceptions in the following space.

\_\_\_\_\_  
None.  
\_\_\_\_\_

Exceptions will not necessarily result in denial of award, but will be considered in determining bidder responsibility. For any exception noted above, indicate below to whom it applies, initiating agency, and dates of action.

\_\_\_\_\_  
\_\_\_\_\_

**TITLE 23, UNITED STATES CODE, SECTION 112 NON-COLLUSION AFFIDAVIT**

In accordance with Title 23, United States Code, Section 112, the bidder hereby states, under penalty of perjury, that he has not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with this contract.

<b>LABOR CODE § 1773</b>
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**Wage Rates:** Bidders are hereby notified that California Director of Industrial Relations has determined the general prevailing rate of wages for each craft, classification, or type of worker needed to execute the work. It shall be mandatory for Contractor and any subcontractor under him to pay not less than the said specified rates to laborers and workmen employed by them in the execution of the Contract.

<b>GOVERNMENT CODE § 12990</b>
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**Nondiscrimination Compliance:** This contract is subject to State contract nondiscrimination and compliance requirements pursuant to Government Code, Section 12990.

<b>PUBLIC CONTRACTS CODE, STATE OF CALIFORNIA § 22300</b>
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**Retention:** This Contract will contain provisions permitting the successful bidder to substitute securities for any moneys withheld by the District to ensure performance under the Contract; or, alternately, the Contractor may request that the District make payments of retentions earned directly to an escrow agent, at the expense of the Contractor. The form of escrow agreement and securities eligible for investment shall be governed by said Section 22300.

<b>WORKER'S COMPENSATION CERTIFICATION</b>
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I,     Matt Fishbune    , make the following certification in accordance with the requirements of California Labor Code Section 1861: I am aware of the provisions of Section 3700 of the Labor Code which requires every employer to be insured against liability for worker's compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing performance of the work of this contract.

<b>DEPARTMENT OF INDUSTRIAL RELATIONS, LABOR CODE SECTION 1725.5</b>
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No contractor or subcontractor may be listed on a bid proposal for a public works project exceeding \$25,000 (submitted on or after March 1, 2015) unless registered with the Department of Industrial Relations pursuant to Labor Code section 1725.5 [with limited exceptions from this requirement for bid purposes only under Labor Code section 1771.1(a)].

No contractor or subcontractor may be awarded a contract for public work on a public works project (awarded on or after April 1, 2015) unless registered with the Department of Industrial Relations pursuant to Labor Code section 1725.5.

This project is subject to compliance monitoring and enforcement by the Department of Industrial Relations.

Public Contractor Registration NOT required when the prime contract does not exceed \$25,000 for construction, alteration, demolition, installation or repair, or \$15,000 for maintenance work.

**Notes: All the above Statements, Questionnaire, and Non-Collusion Affidavit are all a part of the Bid. Signing this Bid on the signature portion thereof shall also constitute signature of these Statements, Questionnaire, and Non-Collusion Affidavit. Bidders are cautioned that making false certifications may subject the certifier to criminal prosecution.**

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
STAFF REPORT**

**To:** Board of Directors

**From:** Carie Huff, District Engineer

**Cc:** Herb Niederberger, General Manager  
Emilie Costan, Administrative Services Manager  
Eric Nielsen, Superintendent

**Subject:** Appeal – Rising Zone, 5828 Lonetree Boulevard  
Participation Charge Calculation

**Meeting Date:** April 4, 2024

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**Overview**

The Rising Zone (TRZ) occupies an existing office space located at 5828 Lonetree Boulevard that previously paid a Participation Charge of 7.44 EDU. This charge was based upon a prior medium-density use occupying an area of 22,328 square feet. The Tenant Improvement Plans (Attachment 1) for TRZ include the addition of showers which transition the space to a mixed-use that includes office space, exercise rooms, locker rooms, toilet areas, and four cold-plunge baths.

Whenever the District receives plans for a Tenant Improvement that reflects a change in use, staff are obligated to recalculate the EDUs and associated charges corresponding to the sewer load of the new use. This calculation includes credited EDUs based upon the prior uses in accordance with District Sewer Code §2.03.03.A.2:

Where multiple uses, and/or tenants within the meaning of this Code, are contained or can be contained in the same structure, the General Manager, based on building permit data, applicable zoning, and plans of the developer, will allocate the respective square footage for the various uses and/or tenants, and determine a composite participation charge composed of the respective participation charges for each such use and/or tenant. Subsequent modifications to any structure may result in reclassification and the assessment of additional incremental participation charges.

Staff completed a substantial effort to determine a composite participation charge in accordance with the Sewer Code. A review of the Rising Zone occupied uses and applied areas was completed by staff in consultation with the building plans reflecting the new uses. As indicated on the plans and attached spreadsheet (Attachment 2), the majority of the first floor uses depicted on the plans for TRZ reflect a 6,902 square feet (sf) Sport/Fitness Center (w>Showers) that includes exercise rooms, locker rooms, toilet areas, showers, and four cold-plunge baths. The designation of Sport/Fitness Center (w>Showers) constitutes a High-Density Use calculated at 2/3 EDU/1000 sf. The remainder of the first-floor use, 4,642sf, and all of the second-floor use, 11,164 sf., has been identified as Office, which is a Medium-Density Use calculated at 1/3 EDU/1000 sf.

As stated in the attached District letter dated March 12, 2024, (Attachment 3) the Total EDU Assessment for the Rising Zone is 9.74 EDU, less previous credits of 7.44 EDU, yielding a net due of

2.30 EDU. The total of the Local and Regional Participation Charge is currently \$14,767/EDU. A calculation yields a total Participation Charge due in the amount of \$33,964.10.

YDK Investments, in their letter on behalf of TRZ dated March 22, 2024, (Attachment 4), has appealed the charge in accordance with the process identified in Chapter 1.15.00 of the Sewer Code. They contend that TRZ is not a high-volume, full-service gym. TRZ is a smaller, more boutique facility with only 120 members who would be utilizing the shower space. Their average daily check-in for the strength zone members is currently only 24 people. The scope of work for the shower space is only 440 square feet. YDK asserts that this should allow the facility to remain at the medium density use and no additional charge would be due.

As a side note, Staff also contacted TRZ to inform them that if the payment of additional charges presents a hardship, the General Manager is authorized by the Board to consider a Deferral of Participation Charges in accordance with Policy #3350, (Attachment 5). If Rising Zone is the underlying fee title property owner, The District can execute the payment arrangement directly with them. If the property is being leased, then the payment arrangement must be with the underlying fee title holder.

### **Recommendation**

Staff recommends that the Board of Directors:

1. Find that the calculations of the composite participation charges for TRZ are correct per the District's Sewer Code;
2. Deny the appeal; and
3. Demand payment of total Participation Charges due in the amount of \$33,964.10.

The applicant may still request the Deferral of Participation Charges in accordance with Policy 3350.

### **Strategic Plan Priorities**

Provide exceptional value for the cost of sewer service.

- 1) Maintain low service charges while meeting established service levels.

### **Related District Ordinances and Policies**

This action complies with:

- Ordinance 23-02 – District Participation Charges
- Policy No. 3350 – Deferral of Participation Charges

### **Fiscal Impact**

Denying the appeal will allow for the collection of the Local and Regional Participation Charge of \$33,964.10; \$11,304.5 to District Fund 300, and \$22,659.60 to the City of Roseville to cover debt service to the South Placer Wastewater Authority.

Granting of the appeal will void those charges.

Attachments:

1. Rising Zone Tenant Improvement Drawings
2. Rising Zone Fee Breakdown
3. Rising Zone Fee Letter, March 12, 2012
4. Rising Zone Appeal dated March 22, 2024, YDK Investments
5. Policy # 3350 - Deferral of Participation Charges

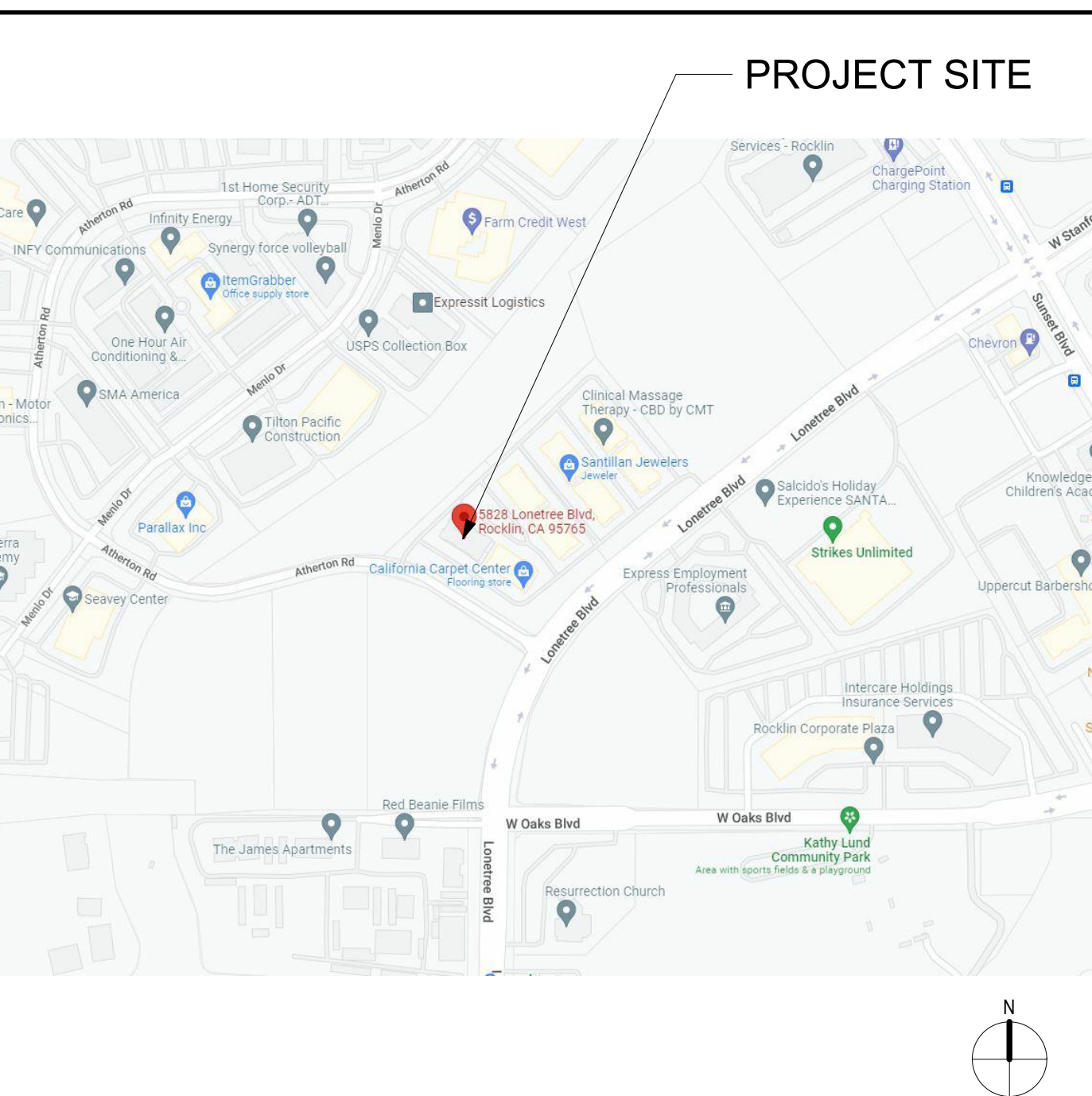
# GENERAL NOTES

- 1. CONTRACT DOCUMENTS:**
  - 1.1 THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR, THE CONDITIONS OF THE CONTRACT, DRAWINGS, SPECIFICATIONS, AND MODIFICATIONS ISSUED AFTER THE EXECUTION OF THE CONTRACT. THE CONTRACT DOCUMENTS FORM THE CONTRACT FOR CONSTRUCTION.
  - 1.2 THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. USE THESE DRAWINGS IN CONJUNCTION WITH THE OTHER CONTRACT DOCUMENTS, INCLUDING THE SPECIFICATIONS, TO DETERMINE THE SCOPE OF THE WORK.
  - 1.3 EXAMINE, READ, AND BECOME THOROUGHLY FAMILIAR WITH THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT WITHIN 10 WORKING DAYS OF THE DATE OF AWARD OF CONTRACT, FOR CLARIFICATION OR INTERPRETATION IF DISCREPANCIES OR OMISSIONS ARE FOUND, OR THERE IS DOUBT AS TO THE CONTRACT DOCUMENTS INTENT OR MEANING.
  - 1.4 DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND OWNER.
- 2. DEFINITIONS:**
  - 2.1 ACCEPTED: AS ACCEPTED BY THE ARCHITECT
  - 2.2 AS APPLICABLE: AS APPROPRIATE FOR THE PARTICULAR CONDITION, CIRCUMSTANCE OR SITUATION.
  - 2.3 AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCE STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICE, OR BY THE CONTRACT DOCUMENTS.
  - 2.4 ACCEPTED AS COMPARABLE PRODUCT: PRODUCT WITH THE QUALITIES OF TYPE, FUNCTION, DIMENSION, IN-SERVICE PERFORMANCE, PHYSICAL PROPERTIES, APPEARANCE, AND OTHER CHARACTERISTICS THAT EQUAL OR EXCEED THOSE OF THE SPECIFIED PRODUCT AS DEMONSTRATED BY THE CONTRACTOR THROUGH THE SUBSTITUTION OR SUBMITTAL PROCESSES, AND APPROVED BY THE ARCHITECT.
  - 2.5 DIRECTED: AS INSTRUCTED BY THE ARCHITECT OR THE OWNER IN WRITING.
  - 2.6 SIMILAR: COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES CAN BE INFERRED FROM OTHER INFORMATION INDICATED. VERIFY DIMENSIONS AND ORIENTATIONS.
  - 2.7 TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS, UNLESS OTHERWISE NOTED.
  - 2.8 FURNISH: SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
  - 2.9 INSTALL: OPERATIONS AT THE PROJECT SITE, INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS.
  - 2.10 PROVIDE: FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
  - 2.11 REGULATIONS: LAWS, ORDINANCES, STATUTES, AND LAWFUL ORDERS ISSUED BY AUTHORITIES HAVING JURISDICTION, AS WELL AS RULES, CONVENTIONS, AND AGREEMENTS WITHIN THE CONSTRUCTION INDUSTRY THAT CONTROL PERFORMANCE OF THE WORK.
  - 2.12 ALTERATION WORK: THIS TERM INCLUDES REMODELING, RENOVATION, REPAIR, AND MAINTENANCE WORK PERFORMED WITHIN EXISTING SPACES OR ON EXISTING SURFACES AS PART OF THE PROJECT.
  - 2.13 CONSOLIDATE: TO STRENGTHEN LOOSE OR DETERIORATED MATERIALS IN PLACE.
  - 2.14 DESIGN REFERENCE SAMPLE: A SAMPLE THAT REPRESENTS THE ARCHITECT'S PREBID SELECTION OF MATERIAL TO BE MATCHED; IT MAY BE EXISTING WORK OR WORK SPECIALLY PRODUCED FOR THE PROJECT.
  - 2.15 DISMANTLE: TO REMOVE BY DISASSEMBLING OR DETACHING AN ITEM FROM A SURFACE, USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES; DISPOSING OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
  - 2.16 MATCH: TO BLEND WITH ADJACENT CONSTRUCTION AND MANIFEST NO APPARENT DIFFERENCE IN MATERIAL, TYPE, SPECIES, CUT, FORM, DETAIL, COLOR, GRAIN, TEXTURE, OR FINISH; AS APPROVED BY ARCHITECT.
  - 2.17 REFINISH: TO REMOVE EXISTING FINISHES TO BASE MATERIAL AND APPLY NEW FINISH TO MATCH ORIGINAL, OR AS OTHERWISE INDICATED.
  - 2.18 REPAIR: TO CORRECT DAMAGE AND DEFECTS, RETAINING EXISTING MATERIALS, FEATURES, AND FINISHES; THIS INCLUDES PATCHING, PIECE-IN, SPLICING, CONSOLIDATING, OR OTHERWISE REINFORCING OR UPGRADING MATERIALS.
  - 2.19 REPLACE: TO REMOVE, DUPLICATE, AND REINSTALL ENTIRE ITEM WITH NEW MATERIAL, THE ORIGINAL ITEM IS THE PATTERN FOR CREATING DUPLICATES UNLESS OTHERWISE INDICATED.
  - 2.20 RETAIN: TO KEEP EXISTING ITEMS THAT ARE NOT TO BE REMOVED OR DISMANTLED.
  - 2.21 STRIP: TO REMOVE EXISTING FINISH DOWN TO BASE MATERIAL UNLESS OTHERWISE INDICATED.
- 3. DIMENSIONS:**
  - 3.1 HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF PARTITION OR WALL, AND DO INCLUDE FINISH MATERIALS, UNLESS OTHERWISE NOTED.
  - 3.2 VERTICAL DIMENSIONS ARE SHOWN FROM THE TOP OF FINISH FLOOR SLAB DATUM LINE, ESTABLISHED BY THE GENERAL CONTRACTOR AND SUBJECT TO THE ACCEPTANCE OF THE OWNER OR THE ARCHITECT, UNLESS OTHERWISE NOTED. IN CARPETED AREAS, FINISH FLOOR IS TOP OF SLAB.
  - 3.3 DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF THE EXTERIOR WINDOW FRAMES, UNLESS OTHERWISE NOTED.
  - 3.4 MAINTAIN DIMENSIONS NOTED "CLEAR" OR "CLR" PRECISELY, WITHIN 1/8" TOLERANCE.
  - 3.5 DIMENSIONS MARKED "AFF" ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.
  - 3.6 OBTAIN FIELD DIMENSIONS REQUIRED FOR ACCURATE FABRICATION AND INSTALLATION OF THE WORK. VERIFY IN FIELD DIMENSIONS INDICATED IN THE CONTRACT DOCUMENTS AND DIMENSIONS MARKED "V.F.": EXACT MEASUREMENTS ARE THE CONTRACTOR'S RESPONSIBILITY. NO ADDITIONAL COSTS WILL BE PAID TO THE CONTRACTOR DUE TO REASONABLE MODIFICATIONS CAUSED BY DISCREPANCIES.
  - 3.7 DO NOT ADJUST DIMENSIONS WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS THEY ARE NOTED "+/-".
  - 3.8 DO NOT SCALE DRAWINGS. IF ITEMS OF WORK CANNOT BE LOCATED, NOTIFY THE ARCHITECT IMMEDIATELY AND DO NOT PROCEED WITH THE AFFECTED WORK UNTIL DIRECTED TO DO SO.
  - 3.9 OBTAIN FIELD DIMENSIONS REQUIRED FOR THE ACCURATE FABRICATION AND INSTALLATION OF THE WORK. VERIFY IN FIELD DIMENSIONS INDICATED IN THE CONTRACT DOCUMENTS. EXACT MEASUREMENTS ARE THE CONTRACTOR'S RESPONSIBILITY. NO ADDITIONAL COSTS WILL BE PAID TO THE CONTRACTOR DUE TO REASONABLE MODIFICATIONS CAUSED BY DIMENSION DISCREPANCIES.
- 4. EXISTING CONDITIONS:**
  - 4.1 INFORMATION RELATED TO EXISTING CONDITIONS WAS OBTAINED FROM DOCUMENTATION PROVIDED BY THE OWNER TO THE ARCHITECT AT THE TIME OF DESIGN. THE ACCURACY OF SUCH INFORMATION HAS NOT BEEN VERIFIED. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND ELEVATIONS WILL BE GOVERNED BY THE ACTUAL CONDITIONS AT THE SITE.
  - 4.2 FIELD VERIFY EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK. VISIT THE SITE, BECOME FAMILIAR, AND EVALUATE EXISTING CONDITIONS THAT AFFECT THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND THE EMPLOYMENT OF LABOR THEREON. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATIONS TO CARRY OUT THE PROVISIONS OF THE CONTRACT DOCUMENTS.
  - 4.3 IMMEDIATELY UPON DISCOVERY OF THE NEED FOR CLARIFICATION BECAUSE OF A DISCREPANCY OF THE CONTRACT DOCUMENTS AND FIELD CONDITIONS, SUBMIT REQUEST FOR INFORMATION TO ARCHITECT, INCLUDING A DETAILED DESCRIPTION OF PROBLEM ENCOUNTERED, TOGETHER WITH RECOMMENDATIONS FOR CHANGING THE CONTRACT DOCUMENTS.
  - 4.4 INSPECT CONCEALED SPACES THAT CAN BE ACCESSED BY REMOVING EXISTING WORK WITHOUT DEMOLITION, SUCH AS CEILING PLENUMS, CHASES, ETC.
  - 4.5 TAKE FIELD MEASUREMENTS AS REQUIRED TO FIT THE WORK PROPERLY. RECHECK MEASUREMENTS BEFORE INSTALLING EACH PRODUCT. WHERE PORTIONS OF THE WORK ARE INDICATED TO FIT TO OTHER CONSTRUCTION, VERIFY DIMENSIONS OF OTHER MEASUREMENTS IN FIELD MEASUREMENTS. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAYING THE WORK.
  - 4.6 VERIFY ACCESS TO THE PROJECT SITE, INCLUDING ACCESS PATHS TO THE BUILDING AND IN THE BUILDING, AND CLEARANCES. COORDINATE WITH BUILDING OWNER THE USE OF ELEVATORS AND OTHER BUILDING FACILITIES AND UTILITIES, AND USE THROUGH LOBBIES AND PUBLIC SPACES, AND HOURS OF OPERATION. COORDINATE INSTALLATION, PARTIAL AND USE OF TEMPORARY UTILITIES, FACILITIES AND CONTROLS WITH BUILDING OWNER AND WITH UTILITY COMPANIES.
  - 4.7 MAINTAIN BUILDING SECURITY, FIRE ALARM, AND FIRE PROTECTION SYSTEMS AT ALL TIMES.
  - 4.8 PROJECT EXISTING WORK, MAINTAINING STRICT CONTROL OF DUST AND DEBRIS EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA BROOM CLEAN AND FREE OF DEBRIS DAILY.
  - 4.9 HAZARDOUS MATERIALS: IF IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK, IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- 5. OCCUPIED BUILDING**
  - 5.1 THE BUILDING WILL BE OCCUPIED AT THE TIME OF CONSTRUCTION. COORDINATE THE WORK WITH BUILDING OWNER TO ENSURE MINIMUM DISTURBANCE TO THE BUILDINGS' OCCUPANTS AND BUILDING ACCESS. DISTURBANCES SUCH AS EXCESSIVE POLLUTION, NOISE, UTILITY SHUTDOWNS, OBSTRUCTION TO SITE OR BUILDING ACCESS (VEHICULAR OR PEDESTRIAN ACCESS), WORK PERFORMED OUTSIDE THE SCHEDULED WORKING HOURS, ARE CONSIDERED AN INTERRUPTION OR DISTURBANCE IN THE TENANTS' ACTIVITIES. NOTIFY THE BUILDING OWNER A MINIMUM OF THREE WORKING DAYS IN ADVANCE OF ANY INTERRUPTIONS OR DISTURBANCES THAT IMPACT BUILDING TENANTS' OPERATIONS.
  - 5.2 DURING THE WORK, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE BUILDINGS' OCCUPANTS AND PUBLIC AT THE SITE AND THE PROTECTION OF THE EXISTING WORK TO REMAIN AND OTHER PROPERTY IN THE SITE.
  - 5.3 CONTRACTOR WILL PROVIDE TO THE FIRE DEPARTMENT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION, A DETAILED SITEWIDE SAFETY SCHEME AND SITE PLAN SHOWING HOW CONTRACTORS WILL PROTECT ALL ADJACENT OCCUPIED SPACES AND OCCUPANTS OF SURROUNDING BUILDINGS AND STRUCTURES INCLUDING PARKING AREAS, SIDEWALKS, ETC. NOT INCLUDED IN SCOPE OF WORK FROM ALL PORTIONS OF CONSTRUCTION AND TO PROVIDE SAFE AND ADEQUATE EGRESS / EGRESS DURING THE PROPOSED DEMOLITION AND CONSTRUCTION PERIOD OUT TO THE FINISH AREA OR AREA OF RESERVE AS DESIGNATED. THEY SHALL ALSO PROVIDE A DETAILED PROTECTED EGRESS PLAN FOR DEMOLITION AND CONSTRUCTION PERIOD AND SHOW HOW ALL FIRE ACCESS AND FIRE APPARATUS ROADWAYS WILL BE MAINTAINED DURING DEMOLITION AND CONSTRUCTION AS WELL AS PROJECT CONSTRUCTION MATERIAL STORAGE AREAS AND REFUSE/DEBRIS BIN/DUMPSTER LOCATIONS PER 2022 CBC § 901.7. SPECIFICALLY 901.7.4, 11, CH. 33, AND 2022 NPA 241.
- 6. CONSTRUCTION**
  - 6.1 CONTRACTOR TO VERIFY REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE OF THE EXISTING WORK TO REMAIN AND OTHER PROPERTY IN THE SITE.

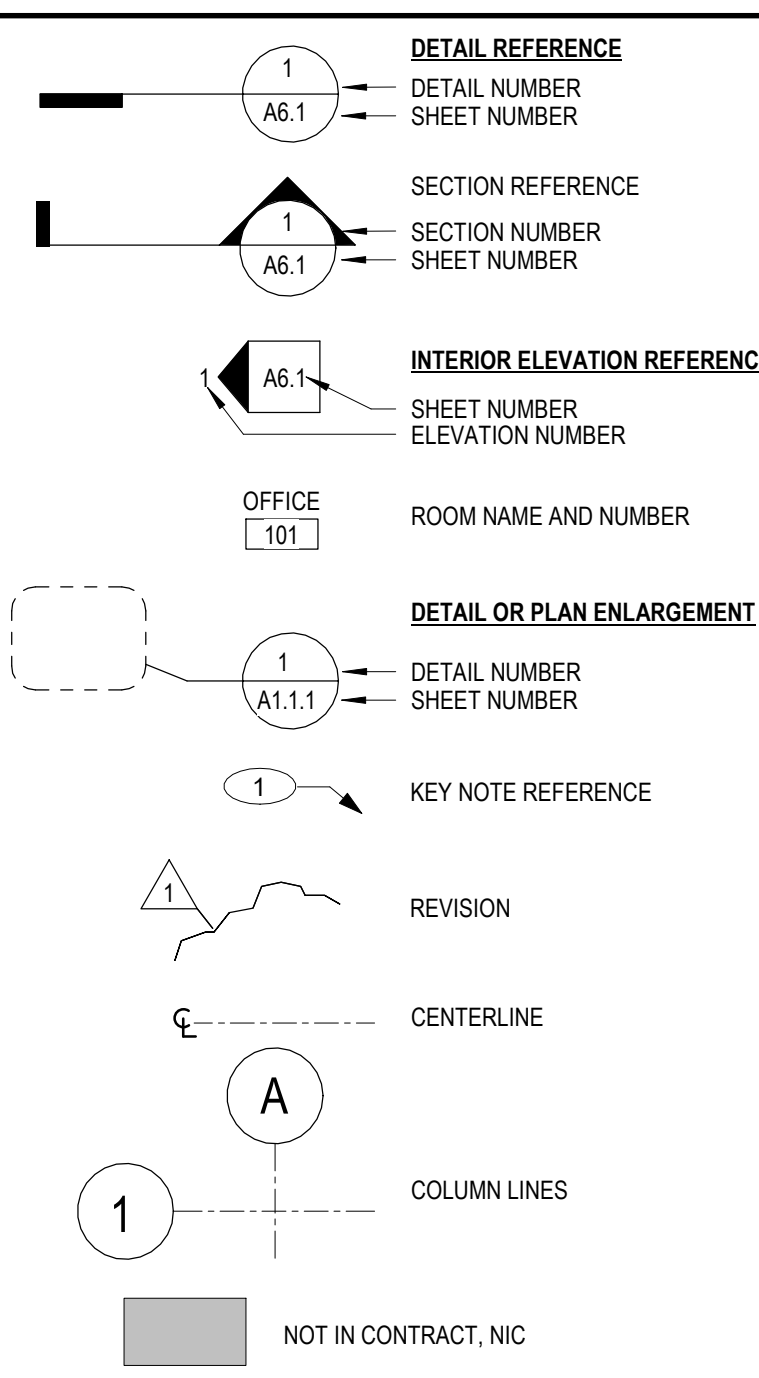
# GENERAL REQUIREMENTS

- 1. QUALITY ASSURANCE**
  - 1.1 OBTAIN AND PAY FOR REQUIRED PERMITS.
  - 1.2 INCORPORATE PERTINENT ACCESSIBILITY REQUIREMENTS, EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY IN THE CONTRACT DOCUMENTS.
  - 1.3 THE ARCHITECT AND OWNER'S REPRESENTATIVE RESERVE THE RIGHT TO REJECT WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. REPAIR OR REPLACE REJECTED WORK AT NO ADDITIONAL COST TO THE OWNER.
  - 1.4 IF ESTABLISHED BY BUILDING OWNER, PERFORM THE WORK IN ACCORDANCE WITH THE "BUILDING STANDARDS".
  - 1.5 PROVIDE COMPONENTS OF THE WORK, SUCH AS EQUIPMENT, FIXTURES, MATERIALS AND PRODUCTS, NOT DEFINITELY INDICATED IN THE CONTRACT DOCUMENTS BUT NECESSARY TO COMPLETE THE WORK. SUCH ITEMS WILL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE BUILDING.
  - 1.6 IF SIZE, CAPACITY, MODEL, STYLE, OR OTHER PERTINENT INFORMATION ON A WORK ITEM IS NOT INDICATED ON THE CONTRACT DOCUMENTS, PROVIDE ITEMS WHICH WILL MEET APPLICABLE CODE REQUIREMENTS AND WHICH WILL ADEQUATELY MEET THE WORK REQUIREMENTS. IF THESE ITEMS ARE EXPOSED, OBTAIN THE ARCHITECT'S APPROVAL BEFORE PROCEEDING.
  - 1.7 IF ITEMS OF WORK ARE NOT SUFFICIENTLY INDICATED OR SPECIFIED, PROVIDE ITEMS THAT ARE SIMILAR IN DESIGN, QUALITY, UTILITY AND APPEARANCE TO COMPARABLE OR SIMILAR CODE-COMPLIANT ITEMS IN THE BUILDING, HEREAFTER REFERRED TO AS THE "BUILDING STANDARD". IF THESE ITEMS ARE EXPOSED, OBTAIN THE ARCHITECT'S APPROVAL BEFORE PROCEEDING.
  - 1.8 CONFIRM ON-SITE DELIVERY DATES OF MATERIALS AND PRODUCTS AND IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF POTENTIAL DELAYS TO THE COMPLETION OF THE WORK.
- 2. DELEGATED DESIGN WORK**
  - 2.1 PORTIONS OF THE WORK INDICATED AS SUCH IN THE CONTRACT DOCUMENTS, AND IDENTIFIED AS SUCH IN THE AGREEMENT, TO BE PERFORMED BY THE CONTRACTOR ON A "DELEGATED DESIGN" BASIS, WHERE THE CONTRACTOR, RATHER THAN THE ARCHITECT, IS SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS, AND FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS.
  - 2.2 THE FOLLOWING ARE DELEGATED-DESIGN WORK ITEMS AS APPLICABLE: FIRESTOPPING, PLUMBING, HVAC AND FIRE PROTECTION; ELECTRICAL WORK; DATA AND TELECOMMUNICATIONS; SECURITY; OTHER ITEMS THAT MAY BE INDICATED ON THE DRAWINGS.
- 3. MODIFICATIONS TO THE CONTRACT AND GENERAL COORDINATION**
  - 3.1 THE ARCHITECT WILL ISSUE INSTRUCTIONS RELATING TO CHANGES IN THE WORK USING AN RMW BULLETIN FORM. THE BULLETIN WILL INCLUDE A DESCRIPTION OF PROPOSED CHANGE. THE ARCHITECT WILL INDICATE IN THE BULLETIN THE TYPE OF ACTION REQUIRED FROM THE CONTRACTOR.
  - 3.2 THE OWNER WILL ISSUE A CHANGE ORDER FOR APPROVED CHANGES IN THE WORK THAT REQUIRE ADJUSTMENT TO THE CONTRACT SUM OR THE CONTRACT TIME.
  - 3.3 DIRECT AND SCHEDULE THE WORK. THE CONTRACTOR WILL BE IN CHARGE OF THE WORK WITHIN THE LIMITS OF THE SITE. FINAL RESPONSIBILITY FOR THE COORDINATION, EXECUTION AND PERFORMANCE OF THE WORK IS THE CONTRACTOR'S.
- 4. SCHEDULE AND CONDUCT A PRECONSTRUCTION CONFERENCE AND PROGRESS MEETINGS AT PROJECT SITE**
  - 4.1 INFORM PARTICIPANTS AND OTHERS INVOLVED OF DATE AND TIME OF EACH MEETING. NOTIFY OWNER AND ARCHITECT OF SCHEDULED MEETING DATES AND TIMES. PREPARE THE MEETING AGENDA. DISTRIBUTE THE AGENDA TO ALL INVITED ATTENDEES. RECORD SIGNIFICANT DISCUSSIONS AND AGREEMENTS ACHIEVED. DISTRIBUTE THE MEETING MINUTES TO EVERYONE CONCERNED, INCLUDING OWNER AND ARCHITECT, WITHIN THREE WORKING DAYS OF THE MEETING.
  - 4.2 COORDINATE WORK OF DELEGATED-DESIGN CONTRACTORS, SEPARATE CONTRACTORS AND FUTURE CONTRACTORS, INCLUDING FURNITURE AND FURNISHING (FURNITURE DRAWINGS MAY BE INCLUDED FOR INFORMATION PURPOSES ONLY.)
  - 4.3 CONSTRUCTION SCHEDULE: PREPARE A COMPREHENSIVE, FULLY DEVELOPED, HORIZONTAL GANTT-CHART-TYPE SCHEDULE. EXTEND SCHEDULE FROM DATE ESTABLISHED FOR THE NOTICE TO PROCEED TO DATE OF SUBSTANTIAL COMPLETION. SUBMIT TWO PRINTED COPIES LARGE ENOUGH TO SHOW ENTIRE SCHEDULE FOR ENTIRE CONSTRUCTION PERIOD. DISTRIBUTE UPDATED COPIES AT THE PROGRESS MEETINGS.
- 5. SUBMITTALS**
  - 5.1 INCORPORATE SUBMITTALS INTO THE CONSTRUCTION SCHEDULE. ALLOW 10 WORKING DAYS FOR REVIEW OF EACH SUBMITTAL BY THE ARCHITECT.
  - 5.2 PRODUCT DATA: SUBMIT FOR THE FOLLOWING PRODUCTS: DOORS AND DOOR FRAMES, GLASS, GYPSUM ASSEMBLIES, FLOOR FINISHES, WALL FINISHES, CEILING FINISHES, PAINTS, SPECIALTIES, EQUIPMENT, FURNISHINGS, AND OTHER PRODUCTS INDICATED ON THE DRAWINGS.
  - 5.3 HARDWARE SCHEDULE: SUBMIT DOORS HARDWARE SCHEDULE PREPARED BY A PERSON WHO IS CURRENTLY CERTIFIED BY DHI AS AN ARCHITECTURAL HARDWARE CONSULTANT. USE THE SAME REFERENCE NUMBERS AS THOSE ON THE DRAWINGS.
  - 5.4 SHOP DRAWINGS: SUBMIT ONE CORRECTABLE TRANSLUCENT REPRODUCIBLE PRINT AND TWO BLUE- OR BLACK-LINE PRINTS. SUBMIT FOR ARCHITECTURAL WOODWORK AND OTHER ASSEMBLIES AS INDICATED ON THE DRAWINGS. SUBMIT COORDINATION DRAWINGS INDICATING LOCATION OF MECHANICAL AND ELECTRICAL WORK ITEMS IN SUSPENDED CEILING.
  - 5.5 SAMPLES: SUBMIT FULL-SIZE UNITS OR SAMPLES OF SIZE INDICATED. PREPARED FROM THE SAME MATERIAL TO BE USED FOR THE WORK, CURED AND FINISHED IN MANNER SPECIFIED, AND PHYSICALLY IDENTICAL WITH THE PRODUCT PROPOSED FOR USE. AND THAT SHOW FULL RANGE OF COLOR AND TEXTURE VARIATIONS EXPECTED. SUBMIT TWO SAMPLES OR SETS OF SAMPLES FOR THE FOLLOWING: EACH TYPE OF FLOOR FINISH, WALL FINISH, CEILING FINISH, GLASS OTHER THAN CLEAR, WOOD FINISHES, PAINT, AND OTHER FINISHES INDICATED IN THE FINISH SCHEDULE.
  - 5.6 ARCHITECT WILL REVIEW EACH SUBMITTAL, MAKE MARKS TO INDICATE CORRECTIONS OR MODIFICATIONS REQUIRED, AND RETURN IT. USE ONLY FINAL REVIEW SUBMITTALS WITH MARKS INDICATING ACTION TAKEN BY ARCHITECT IN CONNECTION WITH CONSTRUCTION. DO NOT REMOVE OR "REJECT" ANY MARKS OR RESUBMIT. "REVISE AND RESUBMIT" OR "SUBMIT SPECIFIED ITEM" TO BE USED AT THE PROJECT SITE, OR ELSEWHERE WHERE CONSTRUCTION IS IN PROGRESS.
- 6. PRODUCT REQUIREMENTS**
  - 6.1 SUBMIT A SUBSTITUTION REQUEST TO THE ARCHITECT FOR PROPOSED CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION FROM THOSE REQUIRED BY THE CONTRACT DOCUMENTS, THE BURDEN OF PROOF OF EQUALITY IS ON THE CONTRACTOR. DO NOT SUBSTITUTE PRODUCTS UNLESS APPROVED BY THE ARCHITECT.
  - 6.2 DELIVER, STORE, AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THE COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. INSPECT PRODUCTS ON DELIVERY TO ENSURE THAT PRODUCTS ARE UNDAUNED AND PROPERLY PROTECTED.
- 7. EXECUTION GENERAL REQUIREMENTS**
  - 7.1 CONCEAL CONDUITS, DUCTS AND PIPING, UNLESS OTHERWISE NOTED.
  - 7.2 ERECT AND INSTALL WORK TO BE LEVEL, PLUMB, SQUARE, TRUE AND IN PROPER ALIGNMENT.
  - 7.3 PROVIDE ANCHORS AND FASTENERS AS REQUIRED TO ANCHOR EACH COMPONENT SECURELY IN PLACE, ACCURATELY LOCATED AND ALIGNED WITH OTHER PORTIONS OF THE WORK.
  - 7.4 WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT COMPONENTS AT HEIGHTS REQUIRED BY CODE OR WHERE DIRECTED BY ARCHITECT.
  - 7.5 MAKE JOINTS OF UNIFORM WIDTH. WHERE JOINT LOCATIONS IN EXPOSED WORK ARE NOT INDICATED, ARRANGE JOINTS FOR THE BEST VISUAL EFFECT. FIT EXPOSED CONNECTIONS TOGETHER TO FORM HARBORLINE JOINTS.
  - 7.6 DO NOT CUT AND PATCH OPERATING ELEMENTS, STRUCTURAL ELEMENTS OR RELATED COMPONENTS IN A MANNER THAT WOULD RESULT IN REDUCING THEIR CAPACITY TO PERFORM AS INTENDED. DO NOT CUT AND PATCH OPERATING ELEMENTS OR RELATED COMPONENTS IN A MANNER THAT WOULD RESULT IN INCREASED MAINTENANCE OR DECREASED OPERATIONAL LIFE OR SAFETY.
  - 7.7 DO NOT CUT AND PATCH CONSTRUCTION IN A MANNER THAT RESULTS IN VISUAL EVIDENCE OF CUTTING AND PATCHING. DO NOT CUT AND PATCH CONSTRUCTION EXPOSED ON THE EXTERIOR OR IN OCCUPIED SPACES IN A MANNER THAT WOULD, IN ARCHITECT'S OPINION, REDUCE THE BUILDING'S AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT HAS BEEN CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
  - 7.8 MAINTAIN ONE SET OF DRAWINGS AS RECORD PRINTS TO RECORD CHANGES. MARK RECORD PRINTS TO SHOW THE ACTUAL INSTALLATION WHERE INSTALLATION VARIES FROM THAT SHOWN ORIGINALLY, INCLUDING DIMENSIONS.
  - 7.9 MEASURE (E) CONCRETE SLAB FLATNESS ACCORDING TO ASTM E1155 OR ANOTHER INDUSTRY RECOGNIZED METHOD. ENSURE FLATNESS IS WITHIN TOLERANCES ALLOWED BY ACI. IF (E) FLATNESS EXCEEDS TOLERANCES, NOTIFY ARCHITECT.
- 8. PROJECT CLOSEOUT**
  - 8.1 SUBMIT ONE SET OF MARKED-UP RECORD PRINTS
  - 8.2 FOR SUBSTANTIAL COMPLETION COMPLETE THE FOLLOWING:
    1. PREPARE A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (PUNCH LIST), THE VALUE OF ITEMS ON THE LIST, AND REASONS WHY THE WORK IS NOT COMPLETE.
    2. ADVISE OWNER OF PENDING INSURANCE CHANGE/COVER REQUIREMENTS.
    3. SUBMIT SPECIFIC WARRANTIES, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
    4. OBTAIN AND SUBMIT RELEASING PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES, INCLUDING OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
    5. MAKE FINAL CHANGE/COVER OF PERMANENT LOCKS AND DELIVER KEYS TO OWNER. ADVISE OWNERS PERSONNEL OF CHANGE/COVER IN SECURITY PROCEDURES.
    6. COMPLETE STARTUP TESTING OF SYSTEMS.
    7. TERMINATE AND REMOVE TEMPORARY FACILITIES FROM PROJECT SITE, ALONG WITH MUCKUPS, CONSTRUCTION TOOLS, AND SIMILAR MATERIALS. REMOVE BURIED-OUT AND DIMMED BULBS, AND DEFECTIVE AND NOISY STARTERS IN FLUORESCENT AND MERCURY VAPOR FIXTURES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
  - 8.3 PROVIDE FINAL CLEANING. CLEAN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING PARKING AREAS, ACCESS, LOBBIES, ELEVATORS, ETC. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, AND SURPLUS MATERIAL FROM PROJECT SITE.
  - 8.4 CLEAN EXPOSED HARD-SURFACED FINISHES. REMOVE DEBRIS AND SURFACE DUST FROM LIMITED ACCESS SPACES INCLUDING PLENUMS, SHAFTS, ATTICS, AND SIMILAR SPACES.
  - 8.5 SWEEP CONCRETE FLOORS BROOM CLEAN IN UNOCCUPIED SPACES. VACUUM CARPET AND SIMILAR SOFT SURFACES. SHAMPOO IF VISIBLE SOIL OR STAINS REMAIN. CLEAN MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE LABELS THAT ARE NOT PERMANENT. TOUCH UP, REPAIR AND RESTORE MARRED, EXPOSED FINISHES AND SURFACES.
  - 8.6 REPLACE FINISHES AND SURFACES THAT CANNOT BE SATISFACTORILY REPAIRED OR RESTORED OR THAT ALREADY SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, OR MECHANICAL AND ELECTRICAL LABELS.
  - 8.7 CLEAN PLUMBING, REPLACE DISPOSABLE AIR FILTERS AND CLEAN PERMANENT AIR FILTERS. CLEAN EXPOSED SURFACES OF DIFFUSERS, REGISTERS, AND GRILLS.
  - 8.8 CLEAN LIGHT FIXTURES, LAMPS, GLOBES, AND REFLECTORS. REPLACE BURIED-OUT AND DIMMED BULBS, AND DEFECTIVE AND NOISY STARTERS IN FLUORESCENT AND MERCURY VAPOR FIXTURES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
- 8.4 SUBMIT A WRITTEN REQUEST FOR INSPECTION FOR SUBSTANTIAL COMPLETION. ON RECEIPT OF REQUEST, ARCHITECT WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. CONTRACTOR WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER INSPECTION AND ARCHITECT WILL NOTIFY CONTRACTOR OF DEFECTS, EITHER ON CONTRACTUAL ITEMS OR ITEMS NOT COVERED BY ARCHITECT. THAT MUST BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE SIGNED BY THE ARCHITECT.
- 8.5 BEFORE REQUESTING FINAL INSPECTION, SUBMIT A FINAL APPLICATION FOR PAYMENT. SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. THE CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE. SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE COMPLYING WITH INSURANCE REQUIREMENTS.
- 8.6 SUBMIT A WRITTEN REQUEST FOR FINAL INSPECTION FOR ACCEPTANCE. ON RECEIPT OF REQUEST, ARCHITECT WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. CONTRACTOR WILL PREPARE A FINAL CERTIFICATE FOR PAYMENT AFTER INSPECTION. ARCHITECT WILL NOTIFY CONTRACTOR THAT MUST BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE ISSUED.

## VICINITY MAP



## LEGEND



## ABBREVIATIONS

&	AND	CI	CAST IRON	FOC	FINISHED OPENING	MLP	METAL LATH & PLASTER	SM	SHEET METAL
@	AT	CP	CAST IN PLACE	FOP	FACE OF CONCRETE	MO	MASONRY OPENING	SMO	SEE MECHANICAL DRAWINGS
!	ANGLE CHANNEL	CC	CONCRETE CONTROL JOINT	CON	CONCRETE CONTROL JOINT	MS	MODIFIED BIT MOUNTED	SPD	SEE PLUMBING DRAWINGS
>	GREATER THAN	CLG	CLEAR	FOM	FACE OF MASONRY	MTL	METAL	SPEC	SPECIFICATION
<	LESS THAN	CLR	CLEAR WIRE GLASS	FOS	FACE OF STUDS	MUL	MULLION	SS	SEE STRUCTURAL DRAWINGS
>=	GREATER THAN OR EQUAL TO	CLWG	CLEAR WIRE GLASS	FW	FACE OF WALL	MVL	MOVABLE MEMBRANE WATERPROOFING	SSD	STAINLESS STEEL
<=	LESS THAN OR EQUAL TO	CMU	CONCRETE MASONRY UNIT	FR	FIRE RESISTANT	MWP	MEMBRANE WATERPROOFING	STA	STATION
±	MIPS OR MINUS	CONTR	COUNTER	FRT	FIRE RETARDANT-TREATED	NA	NOT APPLICABLE	STD	STANDARD
		FT	FEET OR FOOT	NO CR #	NOT IN CONTRACT			STL	STEEL
		COL	COLUMN	FTG	FOOTING	NOM	NOMINAL	STOR	STORAGE
		CONC	CONCRETE	CONN	CONNECTION	NR	NON-RATED	STRUC	STRUCTURAL
		CONSTR	CONSTRUCTION	FUT	FUTURE	NRC	NOISE REDUCTION COEFFICIENT	SUSP	SUSPENDED
		CONT	CONTINUOUS	GA	GAUGE	NTS	NOT TO SCALE	SYMM	SYMMETRICAL
		COORD	COORDINATE	GALV	GALVANIZED	OI	OVER ALL	SYS	SYSTEM
		CORR	CORRIDOR	GRAB BAR	GRAB BAR	CA	CAN CENTER	T	TREAD
		CPT	CARPET	GC	GENERAL CONTRACTOR	CC	ON CENTER	T&B	TOP AND BOTTOM
		CPC	CALIFORNIA CALIFORNIA MECHANICAL CODE	GEN	GENERAL	OD	OUTSIDE DIAMETER	TBD	TO BE DETERMINED
		CSWK	CASEWORK	GRFC	GLASS-FIBER-REINFORCED CONCRETE	OF/CI	OWNER FURNISHED/OWNER INSTALLED	THK	THICK OR THICKNESS
		CT	CERAMIC TILE	GRFP	GLASS-FIBER-REINFORCED PLASTIC	OF/OI	OWNER FURNISHED/OWNER INSTALLED	THRU	THROUGH
		CTF	CERAMIC TILE FLOOR	GIP	GALVANIZED IRON PIPE	OFF	OFFICE	TI	TENANT IMPROVEMENT
		CTR	COUNTERSINK	GLZ	GLAZING	OFS	OUTSIDE FACE OF STUDS	TMP GL	TEMPERED GLASS
		CTSK	COUNTERSINK	GR	GRADE	CH DR	OVERHEAD COOLING DOOR	TOC	TOP OF CURB
		D	DEEP OR DEPTH	GRD	GROUND	CPH	CORNER PANEL	TOP	TOP OF PAVEMENT
		D-B	DESIGN-BUILD	GSB	GYPSUM SHEATHING BOARD	OPNG	OPENING	TOS	TOP OF STEEL
		DBL	DOUBLE	GSM	GALVANIZED SHEET METAL	OPP	OPPOSITE	TOW	TOP OF WALL
		DEL	DELETE	GYSP	GYPSUM SHEATHING BOARD	OR	OUTSIDE RADIUS	TRTD	TREATED
		DEM	DEMOLITION	H	HIGH	ORD	ORDER	TRTD	TREATED
		DET	DETAIL	H	HIGH	ORIG	ORIGINAL	TS	TUBE STEEL
		DF	DRINKING FOUNTAIN	H PLAM	HIGH PRESSURE PLASTIC LAMINATE	PAR OR II	PARALLEL	TYP	TYPICAL
		DI	DIAMETER	HAZ MAT	HAZARDOUS MATERIALS	FB	FIBERBLUTTON	UNFIN	UNFINISHED
		DIM	DIMENSION	HC	HOLLOW CORE	PBD	PARTICULAR BOARD	UN	UNLESS OTHERWISE NOTED
		DIR	DIRECTION	HD	HEAVY DUTY	PCC	PRECAST CONCRETE	UR	URNAL
		DMPFF	DAMP PROOFING	HDR	HARDWARE	PCP	PORTLAND CEMENT PLASTER	UTL	UTILITY
		DN	DOWN	HDW	HARDWARE	PCT OR %	PERCENT	VCT	VINYL COMPOSITION TILE
		DR	DOOR	HOWD	HOWARD	PERF	PERFORATED	VERT	VERTICAL
		DW(S)	DOWNSPOUT (DRAWINGS)	HM	HOLLOW METAL	PERP	PERPENDICULAR	VEST	VESTIBULE
		EA	EACH	INCL	INCLUDED	PL	PLANK	VIF	VERIFY IN FIELD
		EGBS	EXTERIOR GYPSUM SHEATHING BOARD	HO	HOLD OPEN	PLM	PLASTIC LAMINATE	W	WIDTH OR WIDE
		EFS	EXTERIOR INSULATION AND FINISH SYSTEM	HORIZ	HORIZONTAL	PLAS	PLASTER	WI	WITHOUT
		EXP	EXPANSION JOINT	HOSP	HOSPITAL	PLYWD	PLYWOOD	WO	WOOD
		ELEV	ELEVATION	HR	HOUR	PANL	PANEL	WB	WOOD BLOCKING
		ELAST	ELASTOMERIC	HS	HIGH STRENGTH	PO	PRIVATE OFFICE	WC	WOOD CLADDING
		ELEC	ELECTRIC OR ELECTRICAL	HT	HEIGHT	POL	POLISHED	WR	WIRE MESH
		EM	EXPANDED METAL	HR	HOUR	PR	PREPARED	WGL	WOOD GLASS
		EMER	EMERGENCY	ID	INSIDE DIAMETER	PREP	PREPARATION	WM	WIRE MESH
		ENCL	ENCLOSURE	IN	INCH OR INCHES	PROJ	PROJECT	WP	WORKING POINT
		ENGR	ENGINEER	INCL	INCLUDED	REIN	REINFORCED	WR	WATERPROOFING
		EOC	EDGE OF CURB	INCL	INCLUDED	PT	PARTITION	WRP	WATERPROOFING
		EOS	EDGE OF SLAB	INSTR	INSTRUMENT OR INSULATED	PN	PARTITION RISER	WT	WEIGHT
		EOP	EDGE OF PAVEMENT OR PAVING	INS	INSULATION	R	RADIUS	XMR	TRANSFORMER
		EQU	EQUAL	INV	INVERT	RD	RADIUS	Y(S)	YARD(S)
		EQU SP	EQUALLY SPACED	IR	INSIDE RADIUS	RECP	RECEPTACLE		
		EQUIV	EQUIVALENT	J	JUNCTION BOX	REF	REFERENCE		
		EW	EACH WAY	JAN	JANITOR OR JANITOR CLOSET	REIN	REINFORCED		
		EWS	EYE WASH STATION	JOB	JOB	REQD	REQUIRED		
		EXH	EXHAUST	L	LABORATORY	RESL	RESILIENT		
		EXIST	EXISTING	LAM	LAMINATE	REVIS	REVISION		
		EXP	EXPOSED	LAM GL	LAMINATED GLASS	RF	RESILIENT FLOORING		
		EXP BOLT	EXPANSION BOLT	LAV	LAVATORY	RFG	ROOFING		
		(E)	EXISTING	LB	LOAD BEARING	RFI	RESISTANT FOR INFORMATION		
		EXT	EXTERIOR	LS OR #	FOOT	RFD	ROOF DRAIN		
		FA	FIRE ALARM	LFT	LINEAR FEET OR FOOT	RM	ROOM		
		FACP	FIRE ALARM CONTROL PANEL	LK	LOCKER	RND	ROUND		
		FAB	FLAT BAR	LVT	LIGHT	RNG	ROUGH OPENING		
		FDD	FLOOR DRAIN	LV	LEVEL	RO	ROOM		
		FDN	FOUNDATION	LWT	LIGHTWEIGHT	ROU	ROUGH TOP LIFT		
		FE	FIRE EXTINGUISHER	LVN	LOUVER	RTV	ROOF VENT		
		FEC	FIRE EXTINGUISHER CABINET	MATL	MATERIAL	REIN	REINFORCED		

CALGREEN NON-RESIDENTIAL CHECKLIST  
MANDATORY MEASURES

**PURPOSE:**  
The non-residential provisions of the 2016 CalGreen Code outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties; establishes the means of conserving water used indoors, outdoors and in wastewater conveyance; outlines means of achieving material conservation and resource efficiency; and outlines means of reducing the quantity of air contaminants.

Project Name: THE RISING ZONE (TRZ)  
Project Address: 5828 LONETREE BOULEVARD ROCKLIN, CA 95765  
Project Description: TENANT REMODEL TO ADD SHOWERS TO EXISTING CHANGING ROOM AND COLD PLUNGE ROOM. PROVIDE NEW PARTITIONS, FINISHES, MECHANICAL, ELECTRICAL AND PLUMBING FOR NEW SHOWERS. NO PROPOSED WORK ON SECOND FLOOR.  
Instructions:  
1. The Owner or the Owner's agent shall employ a licensed professional experienced with the 2016 California Green Building Standards Codes to verify and assure that all required work described herein is properly planned and implemented in the project.  
2. The licensed professional, in collaboration with the owner and the design professional shall initial **Column 2** of this checklist, sign and date **Section 1 - Design Verification** at the end of this checklist and have the checklist printed on the approved plans for the project.  
3. Prior to final inspection by the Building Department, the licensed professional shall complete **Column 3** and sign and date **Section 2 - Implementation Verification** at the end of this checklist and submit the completed form to the Building Inspector.

MANDATORY FEATURE OR MEASURE	Column 2 Project Requirements	Column 3 Verification
<b>CHAPTER 5 – NON-RESIDENTIAL MANDATORY MEASURES</b>		
<b>General Requirements</b>		
The project meets all the requirements of Divisions 5.101 through 5.508.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Division 5.1 PLANNING AND DESIGN</b>		
<b>Planning and Design - Site Development</b>		
5.106.1 Storm water pollution prevention. For projects of one acre or less, develop a Storm Water Pollution Prevention Plan (SWPPP) that has been designed, specific to its site, conforming to the State Storm Water NPDES Construction Permit or local ordinance, whichever is stricter, as required for projects over one acre. The plan should cover prevention of soil loss by storm water runoff and/or wind erosion, of sedimentation and/or of dust/particulate matter air pollution.	<input type="checkbox"/>	<input type="checkbox"/>

5.303.3.4 Faucets and fountains. 5.303.3.4.1 Nonresidential lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi. 5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucet may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. 5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 (pm square inches) at 60 psi. 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle. 5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per cycle/20 (pm square inches) at 60 psi.	EXISTING PLUMBING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
5.303.4.1 Food waste disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste) and shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.	EXISTING PLUMBING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
5.303.5 Areas of additions or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 101, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alterations to the building.	EXISTING PLUMBING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code (CPC), and shall meet the applicable standards referenced in CPC Table 1401.1 and CalGreen Chapter 6.	EXISTING PLUMBING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
<b>Outdoor Water Use</b> 5.304.2 Outdoor use in landscape areas equal to or greater than 500 sq ft. When water is used for outdoor irrigation for new construction projects, one of the following shall apply: <input type="checkbox"/> 1. A local water efficient landscape ordinance that is based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resources (DWR) <input type="checkbox"/> 2. The California Department of Water Resource Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulation. 5.304.3 Outdoor water use in rehabilitated landscape projects equal to or greater than 2,500 sq ft. Rehabilitated landscape projects shall comply with Section 5.304.2, Item 1 or 2. 5.304.4 Outdoor water use in landscape areas of 2,500 sq ft. or less. Any project with an aggregate landscape area of 2,500 sq ft. or less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measure contained in MWELO's Appendix D.	N/A LANDSCAPING IS NOT PART OF THIS PERMIT <input type="checkbox"/>	<input type="checkbox"/>

<b>Division 5.2 ENERGY EFFICIENCY</b>		
<b>Performance Requirements</b>		
5.201.1 Scope. The California Energy Commission will continue to adopt mandatory building standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Division 5.3 WATER EFFICIENCY AND CONSERVATION</b>		
<b>Indoor Water Use</b>		
5.303.1 Meters. Separate meters shall be installed for the uses described in Sections 503.1.1 and 503.1.2.	N/A BUILDING IS EXISTING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
5.303.1.1 New building or additions in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gals/day. 2. Where separate submeters are unfeasible, for water supplied to the following systems: a. Makeup water for cooling towers where flow through is greater than 500 gpm. b. Makeup water for evaporative coolers greater than 6 gpm. c. Steam and hot-water boilers with energy input > 500,000 Btu/h. 5.303.1.2 Excess consumption. A separate submeter shall be provided for any tenant within a new building or within an addition that is projected to consume > 1,000 gals/day.	N/A BUILDING IS EXISTING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
5.303.3 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for tank-type toilets. 5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted urinals. The effective flush volume of floor-mounted urinals shall not exceed .05 gallons per flush. 5.303.3.3 Showerheads. 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.	N/A BUILDING IS EXISTING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>

5.106.4 Bicycle parking. Comply with Sections 5.106.4.1 and 5.106.4.2; or meet local ordinance, whichever is stricter. 5.106.4.1.1 Short-Term bicycle parking. If the qualified project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5 percent of visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack. 5.106.4.1.2 Long-Term bicycle parking. For qualified buildings with over 10 tenant-occupants or for additions or alterations that add 10 or more tenant vehicular parking spaces, provide secure bicycle parking for 5 percent of tenant vehicle parking spaces being added, with a minimum of one space. 5.106.5.2 Designated parking for clean air vehicles. Provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table 5.106.5.2. 5.106.5.3 Electric vehicle (EV) charging. Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). 5.106.5.3.1 Single charging space requirements. When only a single charging space is required per Table 5.106.5.3.1, a raceway is required to be installed at the construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.2 Multiple charging spaces requirements. When multiple charging spaces are required per Table 5.106.5.3.1, raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. 5.106.5.3.3 EV charging space calculation. Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE. 5.106.5.4 Identification. The service panel and subpanel(s) circuit directory shall identify the reserved overcurrent protective device(s) for future EV charging as "EV CAPABLE". 5.106.5.5.3 Future EV spaces count as designated parking. Future charging spaces qualify as designated parking as described in Section 5.106.5.2, Designated parking for clean air vehicles. 5.106.8 Light pollution reduction. Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for lighting zones 1-4 as defined in Chapter 10 of the California Administrative Code; and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IES TM-15-11; and 3. Allowable BUG rating not exceeding those shown in Table 5.106.8, or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent. 5.106.19 Grading and paving. The site shall be planned and developed to keep surface water away from buildings. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows.	N/A SITE IS EXISTING TO REMAIN <input type="checkbox"/>	<input type="checkbox"/>
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5.504.4 Finish material pollutant control. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6. 5.504.4.1 Adhesives, sealants, caulks. Adhesives and sealants used on the project shall meet the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 116B VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. 2. Aerosol adhesives and smaller unit sizes of adhesives and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507. 5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with Table 5.504.4.3 unless more stringent local limits apply. 5.504.4.3.1 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for LCC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). 5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. 5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the standards listed in Section 5.504.4.4. 5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. 5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1. 5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in Table 5.504.4.5. 5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following standards listed in Section 5.504.5.3. 5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following standards listed in Section 5.504.4.6. 5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air prior to occupancy that provides at least a MERV of 8.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following standards listed in Section 5.504.5.3.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following standards listed in Section 5.504.4.6.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air prior to occupancy that provides at least a MERV of 8.	REFER TO MECHANICAL <input checked="" type="checkbox"/>	<input type="checkbox"/>

5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1. 5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in Section 5.410.4.2. 5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with industry best practices and applicable national standards on each system. 5.410.4.3.1 HVAC balancing. Before a new space-conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in Section 5.410.4.3.1. 5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.4.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection. 5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.4.3.1 HVAC balancing. Before a new space-conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in Section 5.410.4.3.1.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.4.5 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Fireplaces</b> 5.503.1.1 Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace or a sealed woodstove and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. 5.503.1.1.1 Woodstoves. Woodstoves shall comply with US EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.	N/A NO FIREPLACE / WOOD STOVES <input type="checkbox"/>	<input type="checkbox"/>
<b>Pollutant Control</b> 5.504.1 Temporary ventilation. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30 percent based on ASHRAE 52.1-1989. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. 5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation or during appropriate maintenance staff for each equipment type and/or system shall include items listed in Section 5.410.2.5.2.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>

5.408.2 Universal waste. Addition and alteration to a building or tenant space that meet the scoring provision in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfill. A list of prohibited Universal Waste material shall be included in the construction documents. 5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. <b>Building Maintenance and Operation</b> 5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of nonhazardous materials for recycling. 5.410.2 Commissioning. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project. All occupancies projects other than 1-occupancies and L-occupancies shall comply with the California Energy Code as prescribed in California Energy Code Section 122.8. For 1-occupancies that are not regulated by OSHPD or for 1-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply. Commissioning requirements shall include items listed in Section 5.410.2. 5.410.2.1 Owner's Project Requirements (OPR). Documented before the design phase of the project begins the OPR shall include items listed in Section 5.410.4. 5.410.2.2 Basis of Design (BOD). A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project and updated periodically to cover the systems listed in Section 5.410.2.2. 5.410.2.3 Commissioning plan. A commissioning plan describing how the project will be commissioned shall be started during the design phase of the building project and shall include items listed in Section 5.410.2.3. 5.410.2.4 Functional performance testing. Functional performance testing shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. 5.410.2.5 Documentation and training. A systems manual and systems operations training are required. 5.410.2.5.1 Systems manual. The systems manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in Section 5.410.2.5.1. 5.410.2.5.2 Systems operations training. The training of the appropriate maintenance staff for each equipment type and/or system shall include items listed in Section 5.410.2.5.2. 5.410.2.6 Commissioning report. A complete report of commissioning process activities undertaken through the design, construction and reporting recommendations for post-construction phases of the building project shall be completed and provided to the owner or representative.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.1 Owner's Project Requirements (OPR). Documented before the design phase of the project begins the OPR shall include items listed in Section 5.410.4.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.2 Basis of Design (BOD). A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project and updated periodically to cover the systems listed in Section 5.410.2.2.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.3 Commissioning plan. A commissioning plan describing how the project will be commissioned shall be started during the design phase of the building project and shall include items listed in Section 5.410.2.3.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.4 Functional performance testing. Functional performance testing shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.5 Documentation and training. A systems manual and systems operations training are required.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.5.1 Systems manual. The systems manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in Section 5.410.2.5.1.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.5.2 Systems operations training. The training of the appropriate maintenance staff for each equipment type and/or system shall include items listed in Section 5.410.2.5.2.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>
5.410.2.6 Commissioning report. A complete report of commissioning process activities undertaken through the design, construction and reporting recommendations for post-construction phases of the building project shall be completed and provided to the owner or representative.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ <input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>CALGREEN SIGNATURE DECLARATIONS</b>	
Project Name: THE RISING ZONE	
Project Address: 5828 LONETREE BOULEVARD ROCKLIN, CA 95765	
Project Description: TENANT REMODEL TO ADD SHOWERS TO EXISTING CHANGING ROOM AND COLD PLUNGE ROOM. PROVIDE NEW PARTITIONS, FINISHES, MECHANICAL, ELECTRICAL AND PLUMBING FOR NEW SHOWERS. NO PROPOSED WORK ON SECOND FLOOR	
<b>SECTION 1 – DESIGN VERIFICATION</b>	
Complete all lines of Section 1 – "Design Verification" and submit the completed checklist (Columns 1 and 2) with the plans and building permit application to the Building Department. The owner and design professional responsible for compliance with CalGreen Standards have reviewed the plans and certify that the items checked above are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2016 California Green Building Standards Code as adopted by the City of Rocklin.	
Owner's Signature YVONNE PIRE	Date
Design Professional's Signature MELAINIE LAGROU MELAINIE LAGROU_MLAGROU@RMW.COM 614-738-9161	Date 7/7/22
Signature of License Professional responsible for CalGreen compliance	Date
Name of License Professional responsible for CalGreen compliance (Please Print)	Phone
Email Address for License Professional responsible for CalGreen compliance	
<b>SECTION 2 – IMPLEMENTATION VERIFICATION</b>	
Complete, sign and submit the completed checklist, including column 3, together with all original signatures on Section 2 to the Building Department prior to Building Department final inspection. I have inspected the work and have received sufficient documentation to verify and certify that the project described above was constructed in accordance with this Green Building Checklist and in accordance with the requirements of the 2016 California Green Building Standards Code as adopted by the City of Rocklin.	
Signature of License Professional responsible for CalGreen compliance	Date
Name of License Professional responsible for CalGreen compliance (Please Print)	Phone
Email Address for License Professional responsible for CalGreen compliance	

5.508.2.2.2 Access valve. Only Schrader access valves with a brass or steel body are permitted for use. 5.508.2.2.2.1 Valves caps. For system with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic. 5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place. 5.508.2.2.2.2.1 Chain tethers. Chain tethers to fit over the stem are required for valves designed to have seal caps. 5.508.2.3 Refrigerated service cases. Refrigerated service cases holding liquids containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances. 5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coils to maximize energy efficiency. 5.508.2.4 Refrigerated receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver. 5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging. 5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum. 5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge. 5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge. 5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging. 5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (4-50 microns), and hold for 30 minutes. 5.508.2.6.2 Second vacuum. Pull second system vacuum to a minimum of 500 microns and hold for 30 minutes. 5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.2.2 Access valve. Only Schrader access valves with a brass or steel body are permitted for use.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.2.2.1 Valves caps. For system with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.2.2.2.1 Chain tethers. Chain tethers to fit over the stem are required for valves designed to have seal caps.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.3 Refrigerated service cases. Refrigerated service cases holding liquids containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coils to maximize energy efficiency.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.4 Refrigerated receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (4-50 microns), and hold for 30 minutes.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.6.2 Second vacuum. Pull second system vacuum to a minimum of 500 microns and hold for 30 minutes.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>
5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.	N/A NO NEW COMMERCIAL REFRIGERATION <input type="checkbox"/>	<input type="checkbox"/>

5.507.4.2 Interior sound. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40. <b>Outdoor Air Quality</b> 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2. 5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC and refrigeration equipment that does not contain CFCs. 5.508.1.2 Halons. Install fire suppression equipment that does not contain Halons. 5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. 5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigeration systems except as noted below. 5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack. 5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less. 5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils. 5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil. 5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibited use of long radius elbows. 5.508.2.2 Valves. Valves and fittings shall comply with the California Mechanical Code and as follows. 5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve. 5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.	N/A <input type="checkbox"/>	<input type="checkbox"/>
5.507.4.2 Interior sound. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.	N/A <input type="checkbox"/>	<input type="checkbox"/>
<b>Outdoor Air Quality</b> 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.	REFER TO MECHANICAL <input type="checkbox"/>	<input type="checkbox"/>
5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC and refrigeration equipment that does not contain CFCs.	REFER TO MECHANICAL <input type="checkbox"/>	<input type="checkbox"/>
5.508.1.2 Halons. Install fire suppression equipment that does not contain Halons.	REFER TO MECHANICAL <input type="checkbox"/>	<input type="checkbox"/>

CALGREEN NOTES:

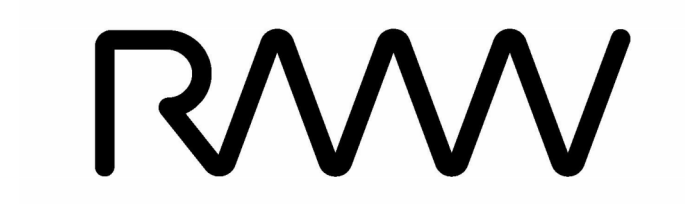
- PROJECT SHALL COMPLY WITH CITY OF ROCKLIN GREEN BUILDING POLICY REQUIREMENTS, INCLUDING CALGREEN MANDATORY MEASURES FOR NONRESIDENTIAL BUILDINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ON SITE THE DOCUMENTATION AND OTHER INFORMATION REQUIRED AT THE TIME OF CALGREEN COMPLIANCE INSPECTIONS BY THE AUTHORITIES HAVING JURISDICTION.
- COMPLY WITH CALGREEN DEMOLITION AND CONSTRUCTION WASTE REQUIREMENTS AND PROVIDE DOCUMENTATION OF WASTE MANAGEMENT TO THE ENFORCING AGENCY PER CALGREEN 5.408.1.
- ALL NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL COMPLY WITH CALGREEN SECTION 5.104.4.
- IF TEMPORARY VENTILATION IS REQUIRED DURING CONSTRUCTION, AIR FILTERS WITH A MERV OF 8 OR AVERAGE EFFICIENCY OF 30% (BASED ON ASHRAE 52.1-1992) SHALL BE USED AND REPLACED PRIOR TO OCCUPANCY PER CALGREEN SECTION 5.504.1.
- ALL MECHANICAL DUCT OPENINGS SHALL REMAIN COVERED DURING CONSTRUCTION PER CALGREEN SECTION 5.504.3.
- ALL MATERIALS SHALL COMPLY WITH VOC LIMITS PER CALGREEN SECTIONS 5.504.1-5.504.4.
- FILTERS TO BE PROVIDED FOR VENTILATION SYSTEM PER CALGREEN SECTION 5.504.5.3.
- ALL FINISHES TO COMPLY WITH CBC 2016 CHAPTER 8.

CALGREEN MANDATORY MEASURES CHECKLIST:

CALGreen Reference	Description	Designer's Comments	City Use Only Field Insp. Verification												
5.1 Planning and Design	<b>5.106.1 Storm water pollution prevention.</b> Newly constructed projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from construction activities through local ordinance in section 5.106.1.1 or Best Management Practices (BMP) in section 5.106.1.2.	N/A SITE IS EXISTING TO REMAIN.	Initials: _____ Date: _____												
5.1 Planning and Design	<b>5.106.4 Bicycle parking.</b> Comply with Sections 5.106.4.1 and 5.106.4.2; or meet local ordinance, whichever is stricter. <b>5.106.4.1 Short-term bicycle parking.</b> If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitor's entrance, readily visible to passers-by, for 5 percent of visitor motorized vehicle parking capacity, with a minimum of one, two-bike capacity rack. <b>Exception:</b> Additions or alterations which add nine or less visitor vehicular parking spaces. <b>5.106.4.2 Long-term bicycle parking.</b> For buildings with 10 or more tenant-occupants or additional alternatives that add 10 or more tenant parking spaces, provide secure bicycle parking for 5 percent of tenant-occupied motorized vehicle parking capacity, with a minimum of one space.	N/A SITE IS EXISTING TO REMAIN. NO NEW VEHICLE PARKING PROPOSED	Initials: _____ Date: _____												
5.1 Planning and Design	<b>5.106.5.2 Designated Parking.</b> In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table 5.106.5.2. <b>5.106.5.2.1 Parking stall marking.</b> Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR/ VANPOOL/LEV <b>Note:</b> Vehicles bearing Clean Air Vehicle stickers from expired programs may be considered eligible for designated parking spaces.	N/A SITE IS EXISTING TO REMAIN. NO NEW VEHICLE PARKING PROPOSED	Initials: _____ Date: _____												
5.1 Planning and Design	<b>5.106.5.3 Electric vehicle (EV) charging.</b> Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle spaces (EVS). <b>5.106.5.3.1 Single charging space requirements.</b> [N] <b>5.106.5.3.2 Multiple charging space requirements.</b> [N] <b>5.106.5.3.3 EV charging space calculation.</b> [N] per Table 5.106.5.3.3 below: <table border="1"> <thead> <tr> <th>Total Number of Parking Spaces</th> <th>Number of Required EV Charging Spaces</th> </tr> </thead> <tbody> <tr> <td>0 - 50</td> <td>0</td> </tr> <tr> <td>51 - 75</td> <td>1</td> </tr> <tr> <td>76 - 100</td> <td>2</td> </tr> <tr> <td>101 - 200</td> <td>3</td> </tr> <tr> <td>201 and over</td> <td>3% *</td> </tr> </tbody> </table> *Calculation for spaces shall be rounded up to the nearest whole number. <b>5.106.5.3.4 [N] Identification.</b> <b>5.106.5.3.5 [N] EV spaces</b> count as designated parking.	Total Number of Parking Spaces	Number of Required EV Charging Spaces	0 - 50	0	51 - 75	1	76 - 100	2	101 - 200	3	201 and over	3% *	N/A SITE IS EXISTING TO REMAIN. NO NEW VEHICLE PARKING PROPOSED	Initials: _____ Date: _____
Total Number of Parking Spaces	Number of Required EV Charging Spaces														
0 - 50	0														
51 - 75	1														
76 - 100	2														
101 - 200	3														
201 and over	3% *														
5.1 Planning and Design	<b>5.106.6 Light pollution reduction.</b> Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11; and 3. Allocable EUI ratings not exceeding those shown in Table 5.106.8. OR Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent. <b>Exceptions:</b> 1. Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code. 2. Emergency Lighting.	N/A SITE IS EXISTING TO REMAIN. NO NEW LIGHTING PROPOSED	Initials: _____ Date: _____												
5.1 Planning and Design	<b>5.106.10 Grading and Paving.</b> Construction plans shall indicate how site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include those shown in Items 1-5. See exception for additions or alterations.	N/A SITE IS EXISTING TO REMAIN.	Initials: _____ Date: _____												
5.2 Water Efficiency	<b>5.201.1 Scope.</b> The California Energy Commission will continue to adopt mandatory building standards.	NOTED	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.303.1 Meters.</b> Separate meters shall be installed for the uses described in Sections 5.303.1.1 through 5.303.1.2. <b>5.303.1.1 Buildings or additions in excess of 50,000 square feet.</b> Separate submeters shall be installed as follows: 1. For each individual leased, rented, or other tenant space within the building projected to consume more than 1000 gpd/day. 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm. b. Makeup water for evaporative coolers greater than 6 gpm. c. Steam and hot-water boilers with energy input more than 500,000 Btu/h. <b>5.303.1.2 Excess consumption.</b> Any building or a space within a building that is projected to consume more than 1,000 gpd/day.	N/A BUILDING IS EXISTING TO REMAIN.	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.303.2 Water conserving plumbing fixtures and fittings.</b> Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: <b>5.303.2.1 Water closets.</b> The effective flush volume of all water closets shall not exceed 1.29 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. NOTE: The effective flush volume of ball float toilets is defined as the composite average flush volume of two reduced flushes and one full flush. <b>5.303.2.2 Urinals.</b> The effective flush volume of urinals shall not exceed 0.5 gallons per flush. <b>5.303.3 Showerheads.</b> <b>5.303.3.1 Single showerhead.</b> Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. <b>5.303.3.2 Multiple showerheads serving one shower.</b> When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.	NOTED	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.303.4 Areas of addition or alteration.</b> For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 shall apply to new fixtures in additions or areas of alterations to the building.	EXISTING PLUMBING TO REMAIN	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.303.5 Standards for plumbing fixtures and fittings.</b> Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1401.1.1 of the California Plumbing Code and in Chapter 6 of this code.	EXISTING PLUMBING TO REMAIN	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.304.1 Water budget.</b> A water budget shall be developed for landscape irrigation use that installed in conjunction with a new building or an addition or alteration conforms to the local water efficient landscape ordinance.	N/A IRRIGATION IS NOT PART OF THIS PERMIT	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.304.2 Outdoor potable water use.</b> For new water service or for addition or alteration requiring upgraded water service for landscape areas of at least 1,000 square feet but not more than 5,000 square feet (the level at which Water Code S535 applies), separate submeters or metering devices shall be installed for outdoor potable water use.	N/A LANDSCAPING IS NOT PART OF THIS PERMIT	Initials: _____ Date: _____												
5.3 Water Efficiency and Conservation	<b>5.304.3 Irrigation design.</b> In new residential construction or building addition/alteration 1,000 to 2,000 square feet of cumulative landscape area, install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations. <b>5.304.3.1 Irrigation controllers.</b> Automatic irrigation system controllers installed at the time of final inspection shall comply with the following: 1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants, needs as weather conditions change. 2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.	N/A LANDSCAPING IS NOT PART OF THIS PERMIT	Initials: _____ Date: _____												
5.4 Material Conservation and Resource Efficiency	<b>5.407.1 Weather protection.</b> Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 and California Energy Code Section 150, manufacturer's installation instructions, or local ordinance, whichever is more stringent.	N/A EXTERIOR ENVELOPE EXISTING	Initials: _____ Date: _____												
5.4 Material Conservation and Resource Efficiency	<b>5.407.2 Moisture control.</b> Employ moisture control measures by the following methods: <b>5.407.2.1 Sprinklers.</b> Prevent irrigation spray on structures. <b>5.407.2.2 Entries and openings.</b> Design exterior entries and openings to prevent water intrusion into buildings.	N/A EXTERIOR ENVELOPE IS EXISTING. LANDSCAPE IS NOT PART OF THIS PERMIT.	Initials: _____ Date: _____												

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5.4 Material Conservation and Resource Efficiency	<b>5.408.1 Construction waste management.</b> Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent. <b>5.408.1.4 Construction waste management plan.</b> Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that complies with Items 1 through 4 of this section. <b>5.408.1.2 Waste management company.</b> Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill complies with this section. <b>Exceptions to Sections 5.408.1.1 and 5.408.1.2:</b> 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. <b>5.408.1.4 Documentation.</b> Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority. <b>5.408.3 Excavated soil and land clearing debris.</b> 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. <b>Exception:</b> Reuse, either on or off site, of vegetation or soil contaminated by disease or pest infestation.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	<b>5.410.1 Recycling by occupants.</b> Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials for recycling. <b>5.410.1 Additions.</b> All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. <b>Exception:</b> Additions within a tenant space resulting in less than a 30 percent increase in the tenant space floor area.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	<b>5.410.2 Commissioning.</b> For new buildings 10,000 square feet and over, building commissioning for all building systems covered by T24, Part 6, process systems, and renewable energy systems shall be included in the design and construction processes of the building project. Commissioning requirements shall include items listed in 5.410.2. <b>Exceptions:</b> 1. Unconditioned warehouses of any size 2. Areas under 10,000 square feet used for offices or other conditioned accessory spaces within dry storage warehouses 3. Tenant improvements under 10,000 square feet as described in Section 303.1.1 4. Commissioning requirements for energy systems covered by the California Energy Code. 5. Open parking garages of any size, or open parking garage areas of any size, within a structure. <b>5.410.2.1 Owner's Project requirements (OPR).</b> Documented before the design phase of the project begins the OPR shall include items listed in 5.410.4.	N/A BUILDING IS EXISTING.	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	<b>5.410.1 Basis of Design (BOD).</b> A written explanation of how the design of the building systems meet the OPR shall be completed at the design phase of the building project to cover the systems listed in 5.410.2.2. <b>5.410.2.3 Commissioning plan.</b> A commissioning plan describing how the project will be commissioned shall include items listed in 5.410.2.3. <b>5.410.2.4 Functional performance testing.</b> Functional performance testing shall demonstrate the correct installation and operation of each component, system, and system-to-system interface in accordance with the approved plans and specifications. <b>5.410.2.5 Documentation and training.</b> A Systems Manual and Systems Operations Training are required. <b>5.410.2.6 Systems Manual.</b> The Systems Manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in 5.410.2.5.1. <b>5.410.2.5.2 Systems operations training.</b> A program for training of the appropriate maintenance staff. For each equipment type and/or system shall be developed and shall include items listed in 5.410.2.5.2. <b>5.410.2.6 Commissioning report.</b> A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.4 Material Conservation and Resource Efficiency	<b>5.410.4 Testing and adjusting.</b> Testing and adjusting of new systems shall be required for buildings less than 10,000 square feet. <b>5.410.3.2 Systems.</b> Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.4.2. <b>5.410.3.3 Procedures.</b> Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system. <b>5.410.3.3.1 HVAC balancing.</b> Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1. <b>5.410.3.4 Reporting.</b> After completion of testing, adjusting, and balancing, provide a final report of testing signed by the individual responsible for performing these services. <b>5.410.3.5 Operation and maintenance (O&amp;M) manual.</b> Provide the building owner with detailed operating and maintenance instructions and copies of warranties/warranties for each system prior to final inspection. <b>5.410.3.5.1 Inspections and reports.</b> Include a copy of all inspection verifications and reports required by the enforcing agency.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.503.1 Fireplaces.</b> Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. <b>5.503.1.1 Woodstoves.</b> Woodstoves shall comply with US EPA Phase II emission limits. <b>5.504.1.3 Temporary ventilation.</b> If the HVAC system is used during construction, use return air filters with a MERV of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.	N/A NO FIREPLACE / WOOD STOVES	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.3 Covering of duct openings of mechanical equipment during construction.</b> At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetrock, or other methods acceptable to the enforcing agency to reduce the amount of dust, water, and debris which may enter the system.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.4 Finish material pollutant control.</b> Finish materials should comply with Sections 5.504.4.1 through 5.504.4.4. <b>5.504.4.1 Adhesives, sealants, and caulks.</b> Adhesives and sealants used on the project shall meet the requirements of the following: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. 2. Aerosol adhesives, sealants, and caulks shall be in smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with state-wide VOC standards and other requirements, including prohibitions on use of certain toxic compounds of California Code of Regulations, Title 17, commencing with Section 94507. <b>5.504.4.2 Paints and coatings.</b> Architectural paints and coatings shall comply with Table 5.504.4.2, unless more stringent local limits apply. <b>5.504.4.3 Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). <b>5.504.4.3.2 Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. <b>5.504.4.4 Carpet systems.</b> All carpet installed in the building interior shall meet the testing and product requirements of one of the standard listed in 5.504.4.4. <b>5.504.4.4.1 Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute GreenLabel program. <b>5.504.4.4.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 5.504.4.1. <b>5.504.4.5 Composite wood products.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in Table 5.504.4.	REFER TO G.1	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.3.1 Temporary ventilation.</b> If the HVAC system is used during construction, use return air filters with a MERV of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.2.1 Site features.</b> Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior. <b>5.507.4.2.2 Documentation of compliance.</b> An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record. <b>5.507.4.3 Interior sound transmission.</b> Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.508.1 Ozone depletion and greenhouse gas reductions.</b> Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2, 5.505.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs. <b>5.508.1.2 Halons.</b> Install HVAC, refrigeration, and fire suppression equipment that does not contain Halons. <b>5.508.2 Supermarket refrigerant leak reduction.</b> New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressed units condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. <b>Exception:</b> Refrigeration systems containing low-global warming potential (low GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are non-ozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants. <b>5.508.2.1 Refrigerant piping.</b> Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below. <b>5.508.2.1.1 Threaded pipe.</b> Threaded connections are permitted at the compressor rack. s. 5.05.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less. <b>5.508.2.1.2.1 Anchorage.</b> One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils. <b>5.508.2.1.3 Flared tubing connections.</b> Double-flare tubing connections may be used for pressure controls, valve pilot lines and oil. <b>Exception:</b> Single-flare tubing connections may be used with a multi-ring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.	REFER TO MECHANICAL M-0.1.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.508.2.1.3 Flared tubing connections.</b> Double-flare tubing connections may be used for pressure controls, valve pilot lines and oil. <b>Exception:</b> Single-flare tubing connections may be used with a multi-ring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.	N/A NO NEW COMMERCIAL REFRIGERATION	Initials: _____ Date: _____

CALGreen Reference	Description	Designer's Comments	City Use Only Field Insp. Verification
5.5 Environmental Quality	(continued) <b>5.504.4.3 Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certification and specifications 2. Chain of custody certifications 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 95170, et seq.) 4. Exterior grade products marked as meeting the OS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2969 or European ENR 33 Standards 5. Other methods acceptable to the enforcing agency	GENERAL CONTRACTOR TO COMPLY PER JURISDICTIONAL REQ	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.4.6 Resilient flooring systems.</b> For 80% of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following: 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program; 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010. 3. Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and 7.1 (formerly EQI 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program). <b>5.504.4.6.1 Verification of compliance.</b> Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.	REFER TO G.1	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.5.3 Filters.</b> In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provide at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. <b>Exceptions:</b> 1. An ASHRAE 10-percent to 15-percent efficiency filter shall be permitted for the HVAC unit meeting the 2013 California Energy Code having 60,000 CFM or less capacity per unit, if the energy used of the air delivery system is 0.4 W lcfm or less at design air flow. 2. Existing Mechanical Equipment.	REFER TO MECHANICAL M-0.1.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.504.7 Environmental tobacco smoke (ETS) control.</b> Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building and/or outdoor seating and operable windows and within the building as already prohibited by other laws or regulations, or as enforced by ordinances, regulations, or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations, or policies are not in place, post signage to inform building occupants of the prohibition.	N/A NO OUTDOOR AREAS PROVIDED FOR SMOKING	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.505.1 Indoor moisture control.</b> Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 and Chapter 14.1.	REFER TO MECHANICAL M-0.1.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.506.1 Outside air delivery.</b> For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 121 (Requirements For Ventilation) of the 2013 California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.	REFER TO MECHANICAL M-0.3.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.508.2 Carbon dioxide (CO2) monitoring.</b> For buildings or additions equipped with demand controlled ventilation (DCV) sensors, CO2 sensors/controls shall be specified and installed in accordance with the requirements of the 2013 California Energy Code, Section 120(c)(4).	REFER TO MECHANICAL M-0.1.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.507.4 Acoustical control.</b> Employ building assemblies and components with STC values determined in accordance with ASTM E90 and ASTM E413 or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E1532, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2. <b>Exception:</b> Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings. <b>5.507.4.1 Exterior noise transmission.</b> Prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or if altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of not less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations: 1. Within the 65 CNEQ noise contour of an airport. <b>Exceptions:</b> 1. Lidn or CNEQ for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICLUZ) plan. 2. Lidn or CNEQ for other airports and heliports for which a land use plan has not been developed shall be determined by the local general. 2. Within the 65 CNEQ of Lidn noise contour of a freeway or expressway, railroad, industrial source, or a feed-gateway noise source as determined by the Noise Element of the General Plan. <b>5.507.4.1.1 Noise exposure where noise contours are not readily available.</b> Buildings exposed to a noise level of 65 dB(L <sub>eq</sub> )-1h during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30). <b>5.507.4.2 Performance method.</b> For building located as defined in Section A5.507.4.1 or A5.507.4.1.1, wall and roof-ceiling assembly exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide the interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq - 1h) of 50 dBA in occupied areas building an hour of operation. <b>5.507.4.2.1 Site features.</b> Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior. <b>5.507.4.2.2 Documentation of compliance.</b> An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record. <b>5.507.4.3 Interior sound transmission.</b> Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.	N/A	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.508.1 Ozone depletion and greenhouse gas reductions.</b> Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2, 5.505.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs. <b>5.508.1.2 Halons.</b> Install HVAC, refrigeration, and fire suppression equipment that does not contain Halons. <b>5.508.2 Supermarket refrigerant leak reduction.</b> New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressed units condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. <b>Exception:</b> Refrigeration systems containing low-global warming potential (low GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are non-ozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants. <b>5.508.2.1 Refrigerant piping.</b> Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below. <b>5.508.2.1.1 Threaded pipe.</b> Threaded connections are permitted at the compressor rack. s. 5.05.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less. <b>5.508.2.1.2.1 Anchorage.</b> One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils. <b>5.508.2.1.3 Flared tubing connections.</b> Double-flare tubing connections may be used for pressure controls, valve pilot lines and oil. <b>Exception:</b> Single-flare tubing connections may be used with a multi-ring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.	REFER TO MECHANICAL M-0.1.	Initials: _____ Date: _____
5.5 Environmental Quality	<b>5.508.2 Supermarket refrigerant leak reduction.</b> New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressed units condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. <b>Exception:</b> Refrigeration systems containing low-global warming potential (low GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are non-ozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants. <b>5.508.2.1 Refrigerant piping.</b> Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below. <b>5.508.2.1.1 Threaded pipe.</b> Threaded connections are permitted at the compressor rack. s. 5.05.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less. <b>5.508.2.1.2.1 Anchorage.</b> One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils. <b>5.508.2.1.3 Flared tubing connections.</b> Double-flare tubing connections may be used for pressure controls, valve pilot lines and oil. <b>Exception:</b> Single-flare tubing connections may be used with a multi-ring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.	N/A NO NEW COMMERCIAL REFRIGERATION	Initials: _____ Date: _____



1718 3rd Street  
Suite 101  
Sacramento  
California 95811

Office  
916 449-1400

Fax  
415 449-1414

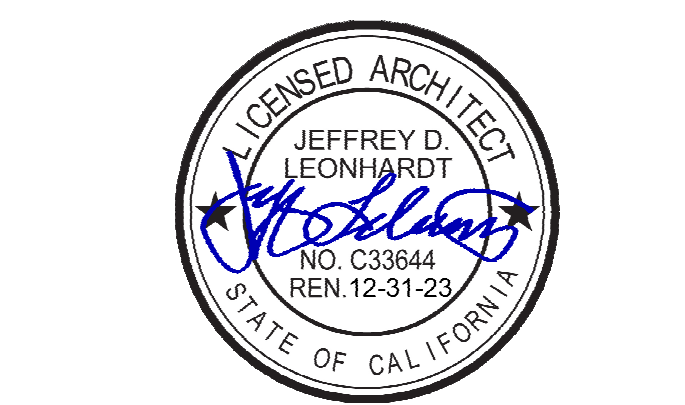
rmw.com

THE RISING ZONE (TRZ)

5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:	
ISSUE DATE:	
REVISIONS:	
DESCRIPTION	DATE

SCALE:	
PROJECT NUMBER:	2224023.00
DRAWN BY:	SG
CHECKED BY:	ML
STAMP:	



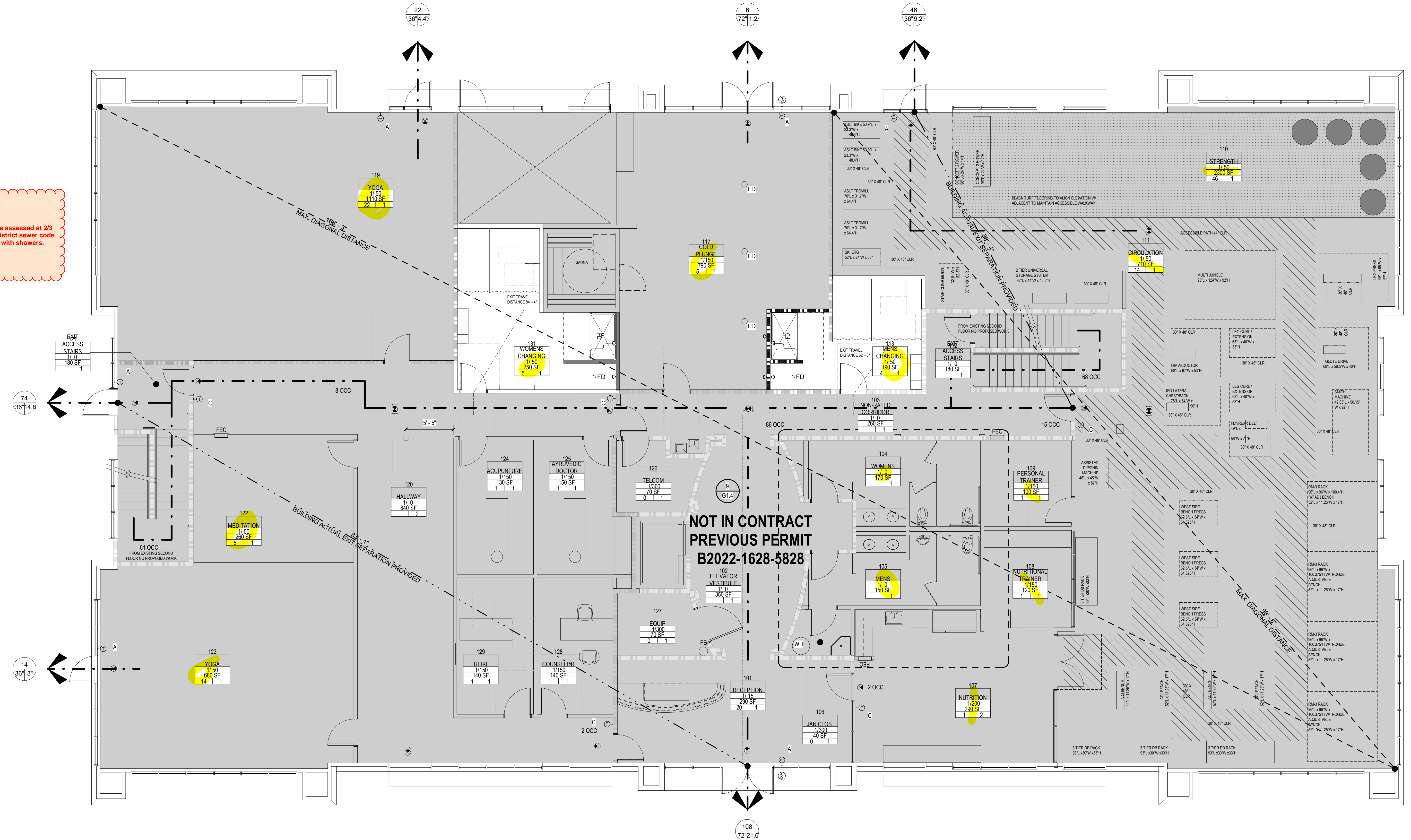
CALGREEN CHECKLIST

SHEET NUMBER:

G1.1



Highlighted areas were assessed at 2/3 EDU per 1000 SF per district sewer code for Sports facilities with showers.



FIRST FLOOR PLAN  
3/16" = 1'-0"

**THE RISING ZONE (TRZ)**  
5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:  
ISSUE DATE:  
REVISIONS:

DESCRIPTION	DATE
PLAN CHECK	10/11/2023
FIRE PLAN CHECK	10/17/2023

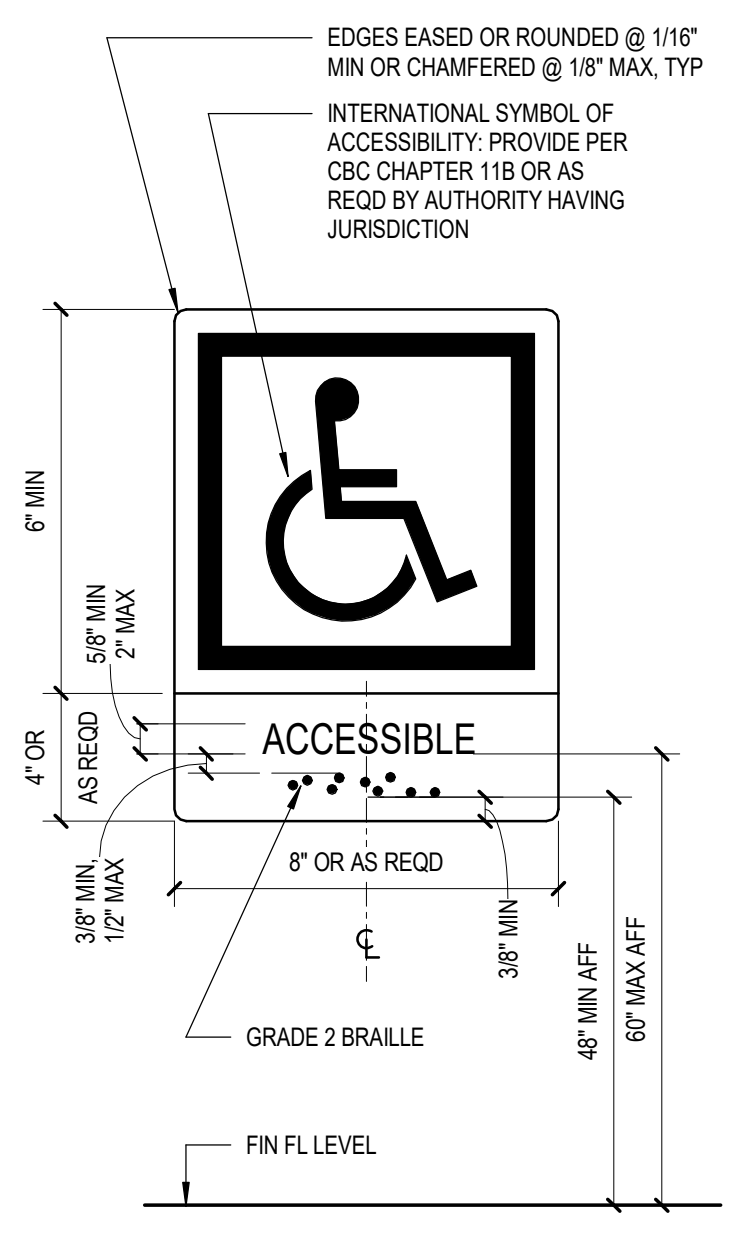
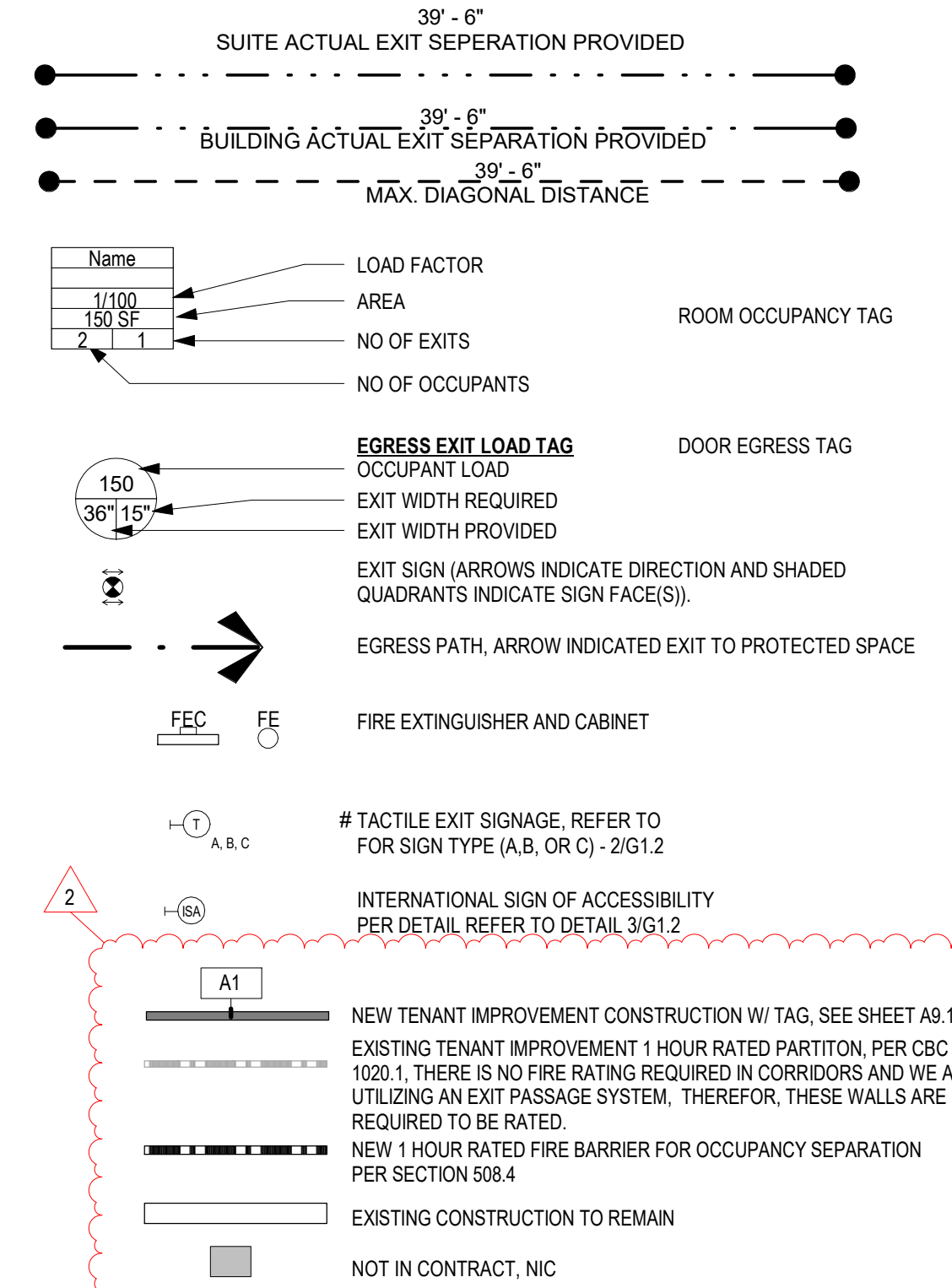
**EXIT DATA**

**FLOOR 1**  
LONGEST DIAGONAL: 166'-2"  
EXIT SEPARATION REQUIRED: 55'-4"  
EXIT SEPARATION PROVIDED: 81'-3"  
EXITS REQUIRED: 2  
EXITS PROVIDED: 2  
EXIT ACCESS TRAVEL DISTANCE PER TABLE 1011.2  
9 OCCUPANCY WITH SPRINKLER SYSTEM  
MAXIMUM DISTANCE ALLOWED = 300'  
ACTUAL DISTANCE = 81'-1"  
A OCCUPANCY WITH SPRINKLER SYSTEM  
MAXIMUM DISTANCE ALLOWED = 250'  
ACTUAL DISTANCE = 92'-4"  
BOTH STAIRS IN THIS PROJECT ARE CLASSIFIED AS 'EXIT ACCESS STAIRS', PER CBC 1019.3 CONDITION #1  
NO CHANGES ON THE EXISTING SECOND FLOOR  
CORRIDOR FIRE RESISTANCE RATING PER TABLE 1020.1 = 0  
THIS BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM  
EXIT WIDTH REQUIRED: STAIR 42" DOORS 28" CORRIDOR 28"  
EXIT WIDTH PROVIDED: 96" 28" 60" MIN  
PER TABLE 1005.1, EGRESS WIDTH PER OCCUPANT SERVED  
STAIRS: 0.3"  
CORRIDORS & DOORS: 0.2"  
PER CBC 303.1.2 ROOMS 123, 101, 107, 122 ARE CATEGORIZED AS A/B OCCUPANCY  
ROOM 110 AND 119 IS AN A-3 OCCUPANCY WHICH IS SEPARATED BOTH VERTICALLY AND HORIZONTALLY BY A 1 HR RATING  
EGRESS PATH IS UNDER PREVIOUS PERMIT B2022-1628-5828

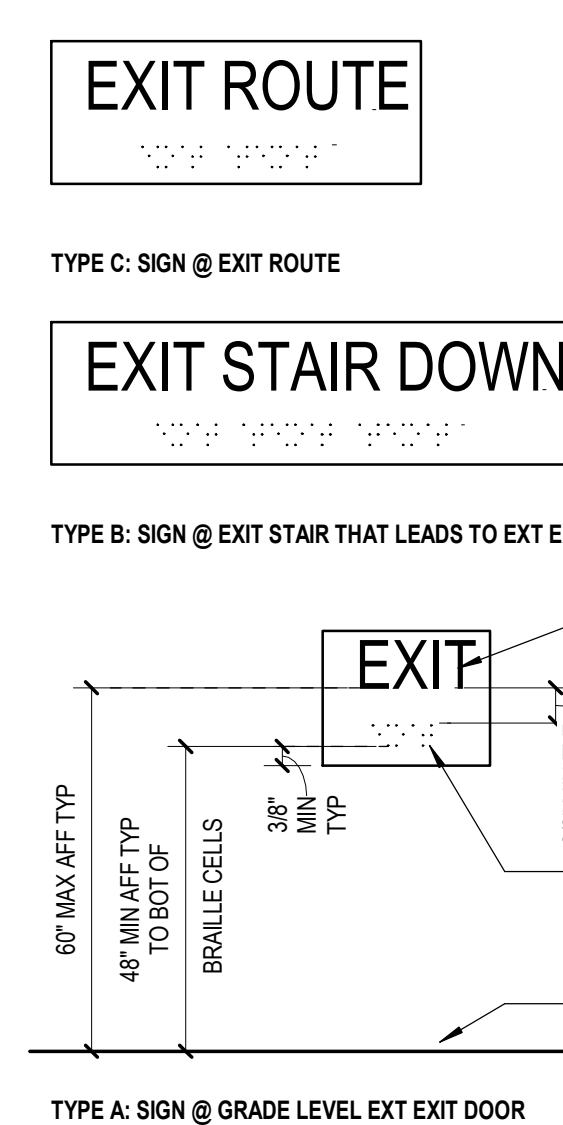
**OCCUPANT LOAD SCHEDULE**

ROOM NUMBER	ROOM NAME	AREA (SF)	Occupancy Type	LOAD FACTOR	NO. OF OCCUPANTS
<b>Level 1</b>					
101	RECEPTION	293.73 SF	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	15	20
102	ELEVATOR VESTIBULE	354.34 SF	ANCILLARY	0	0
103	NON-RATED CORRIDOR	257.16 SF	ANCILLARY	0	0
104	WOMENS	173.34 SF	ANCILLARY	0	0
105	MENS	145.29 SF	ANCILLARY	0	0
106	JAN CLOS.	35.10 SF	ACCESSORY STORAGE AREAS, MECHANICAL, EQPT. ROOM	300	0
107	NUTRITION	290.44 SF	KITCHENS (COMMERCIAL)	200	1
108	NUTRITIONAL TRAINER	115.81 SF	BUSINESS AREAS	150	1
109	PERSONAL TRAINER	98.62 SF	BUSINESS AREAS	150	1
110	STRENGTH	2304.06 SF	EXERCISE ROOMS	50	46
111	CIRCULATION	713.30 SF	EXERCISE ROOMS	50	14
112	EXIT ACCESS STAIRS	183.77 SF	ANCILLARY	0	0
113	MENS CHANGING	188.35 SF	LOCKER ROOMS	50	4
117	COLD PLUNGE	789.84 SF	BUSINESS AREAS	150	5
119	YOGA	1109.34 SF	EXERCISE ROOMS	50	22
120	HALLWAY	836.29 SF	ANCILLARY	0	0
121	EXIT ACCESS STAIRS	176.33 SF	ANCILLARY	0	0
122	MEDITATION	251.07 SF	EXERCISE ROOMS	50	5
123	YOGA	679.34 SF	EXERCISE ROOMS	50	14
124	ACUPUNCTURE	134.58 SF	BUSINESS AREAS	150	1
125	AYURVEDIC DOCTOR	146.58 SF	BUSINESS AREAS	150	1
126	TELCOM	66.51 SF	ACCESSORY STORAGE AREAS, MECHANICAL, EQPT. ROOM	300	0
127	EQUIP	66.56 SF	ACCESSORY STORAGE AREAS, MECHANICAL, EQPT. ROOM	300	0
128	COUNSELOR	136.30 SF	BUSINESS AREAS	150	1
129	REIKI	136.61 SF	BUSINESS AREAS	150	1
131	WOMENS CHANGING	247.49 SF	LOCKER ROOMS	50	5

**LEGEND**

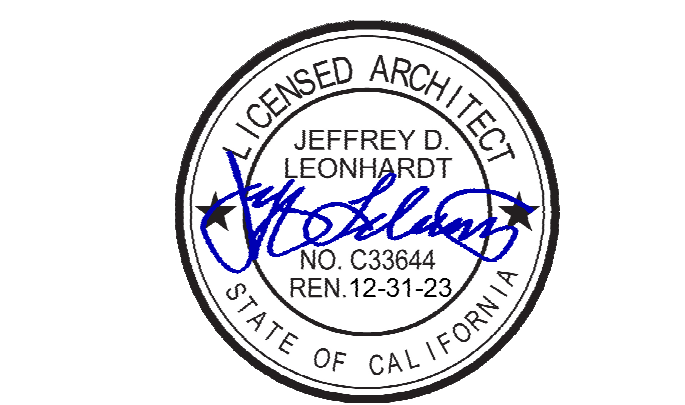


SIGNAGE - ACCESSIBLE BLDG ENTRANCE WALL MTD  
3" = 1'-0"



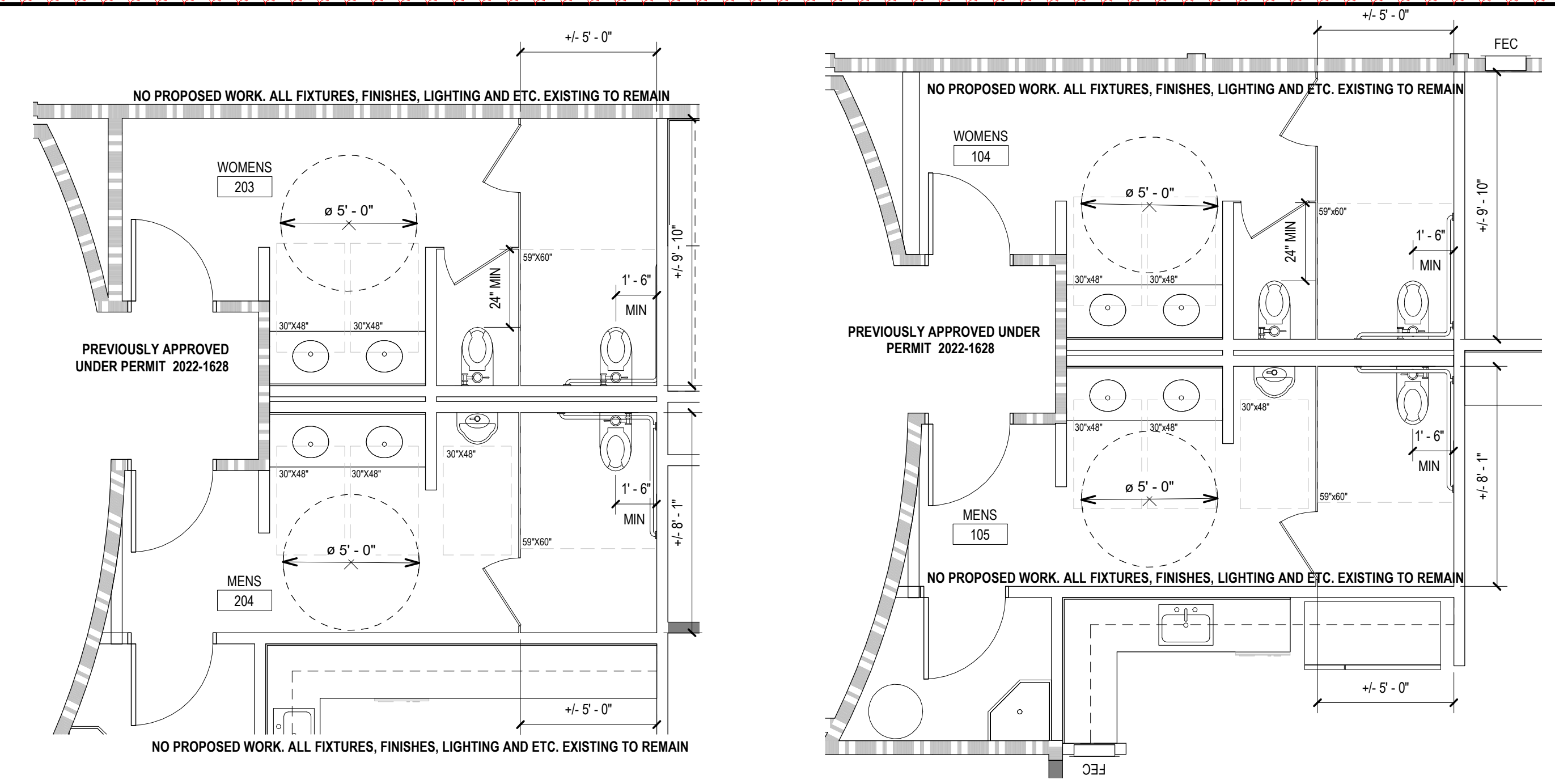
SIGNAGE - TACTILE EXIT SIGNS WALL MTD  
6" = 1'-0"

SCALE: As Indicated  
PROJECT NUMBER: 2224023.00  
DRAWN BY: SG  
CHECKED BY: ML  
STAMP:



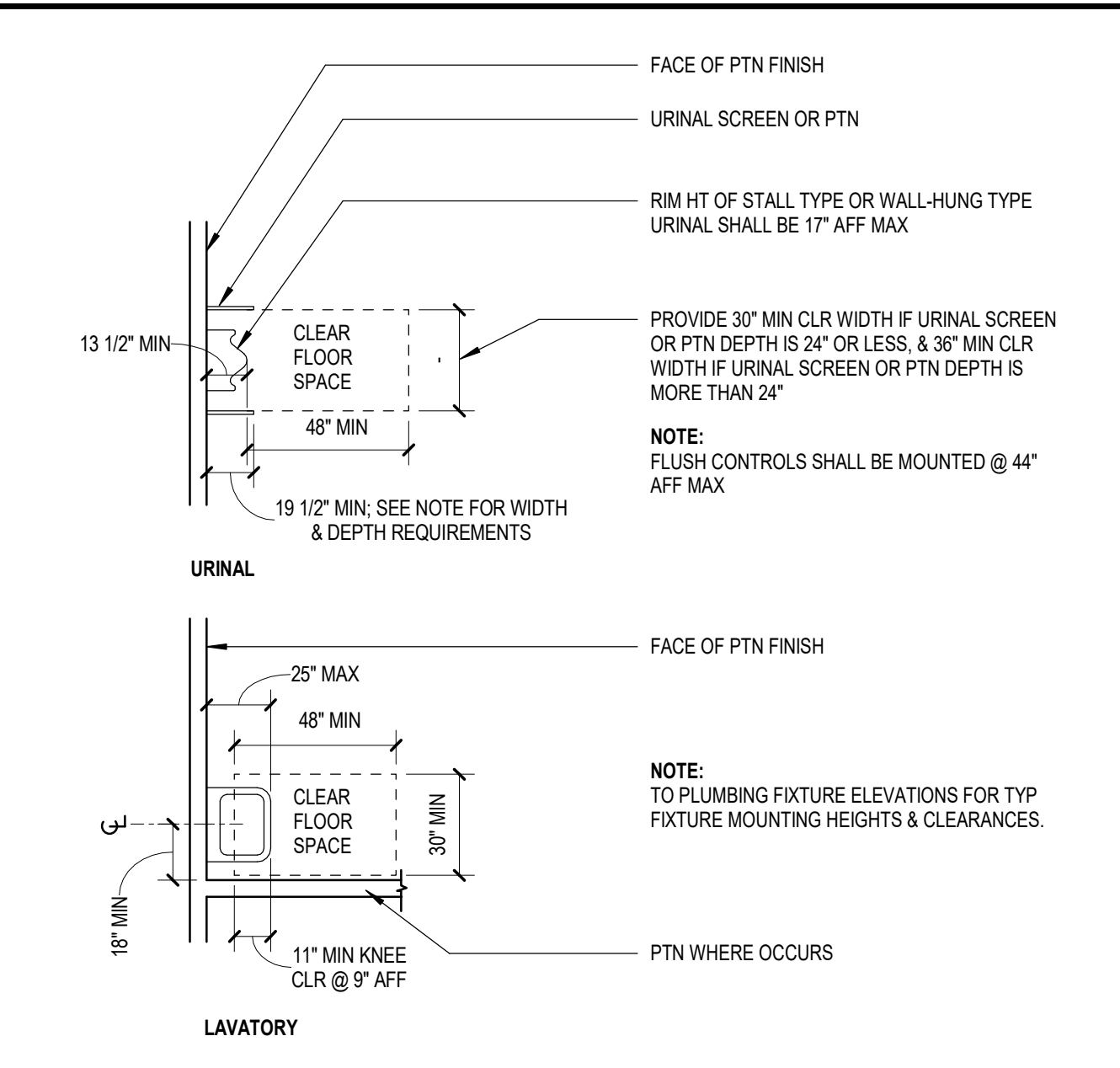
**FIRST FLOOR OCCUPANCY AND EXITING PLAN**

SHEET NUMBER:

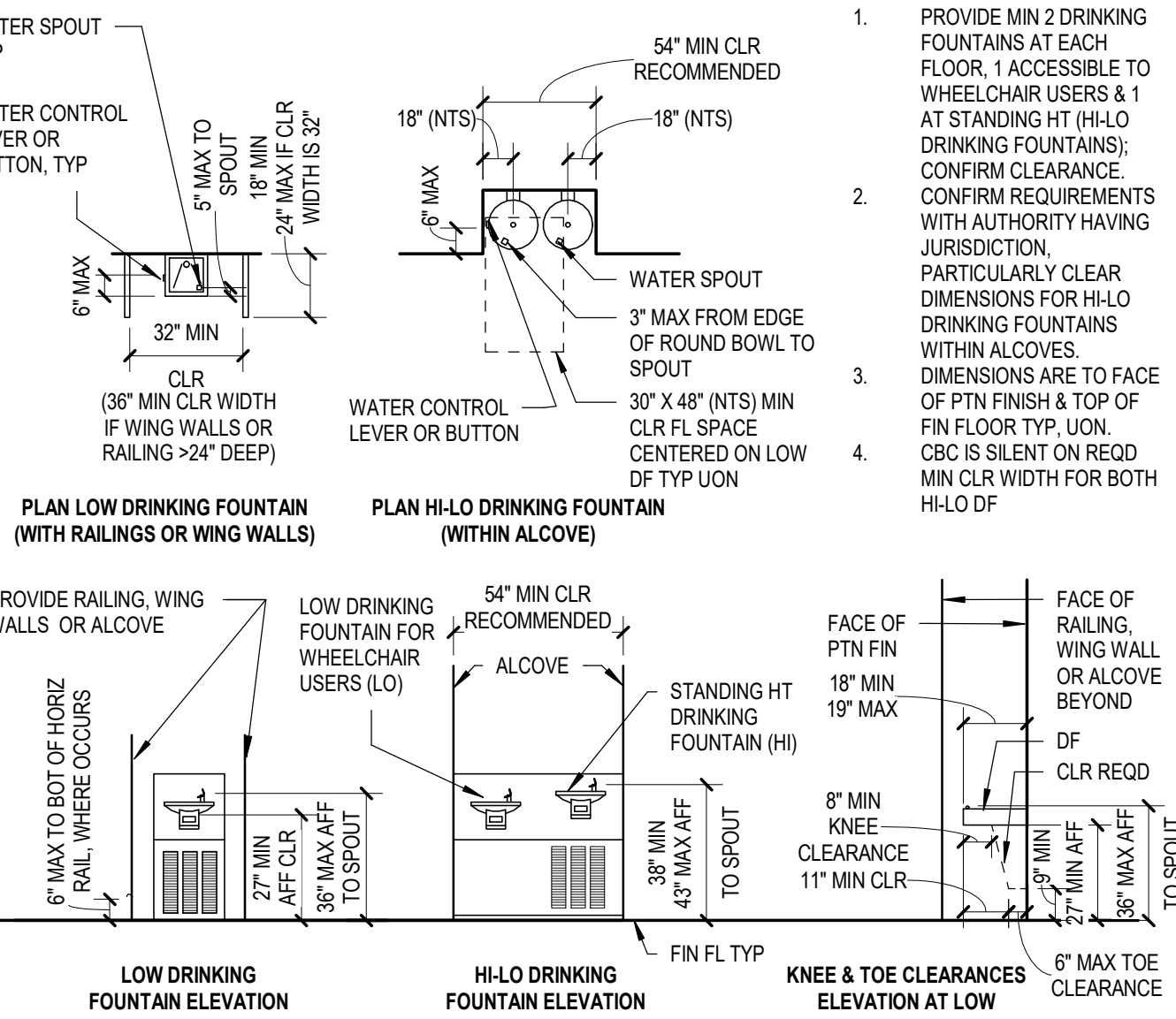


ENLARGED EXISTING 203 WOMENS & 204 MENS RESTROOM  
1/4" = 1'-0"

ENLARGED EXISTING 104 WOMENS & 105 MENS RESTROOM  
1/4" = 1'-0"



ACCESSIBLE URINAL AND LAVATORY PLAN CLEARANCES  
NOT TO SCALE



ACCESSIBLE INT RESTROOM MULTI-STALL PLAN CLEARANCES  
1/4" = 1'-0"

**EXPLANATION OF USES AND PLUMBING CALCULATIONS**

PER CPC 422, ACCESSORY AREAS SUCH AS HALLWAYS, CIRCULATION, TELECOM, AV, STAIRS, CONFERENCE ROOMS, ELECTRICAL ROOMS, ETC., ARE EXCLUDED FROM THE PLUMBING CALCULATION. THESE ROOMS/AREAS WHEN OCCUPIED ARE OCCUPIED BY USERS WHO WOULD BE OTHERWISE OCCUPYING A DIFFERENT SPACE. FOR EXAMPLE, USERS WOULD BE OCCUPYING THEIR OFFICE OR TEMPORARILY PASSING THROUGH A HALLWAY, STAIRS, ETC. OR MEETING IN A CONFERENCE ROOM THEN MOVING BACK TO THEIR OFFICE.

THE FIRST FLOOR IS FOR THE FITNESS, WHICH INCLUDES YOGA/MEDITATION, PILATES CLASSES AND NUTRITION AREAS ALONG WITH CHIROPRACTIC, AYURVEDIC DOCTORS, THE STRENGTH ZONE, HEALING ZONE AND YOGA ZONE ARE NOT OPEN TO THE PUBLIC, IT IS ONLY UTILIZED BY TRAINERS AND THEIR CLIENTS.

THE SECOND FLOOR IS THE WORK ZONE FOR COLLABORATIVE CO WORKING SPACE AVAILABLE FOR MEMBERS AS RENTABLE TEAM SUITES FOR MEMBERS. 4 OFFICES WILL BE FOR TR2 STAFF MEMBERS WHEN THEY ARE NOT PROVIDING SUPPORT FOR WELLNESS ON THE FIRST FLOOR. THE SECOND FLOOR IS NOT OPEN TO THE PUBLIC, IT IS MEMBERS ONLY AND WILL BE SHARING THE OCCUPANCY WITH THE FIRST FLOOR.

THE SECOND FLOOR WORK ZONE WILL HAVE STANDARD HOURS OF OPERATION CONSISTENT WITH A BUSINESS USE. 8-5 M-F. KEY FOBS WILL ALLOW ANY WORK ZONE MEMBERS TO LEAVE AFTER STANDARD HOURS TO KEEP IT FLEXIBLE, BUT WE EXPECT THE MAJORITY OF USERS TO STICK TO THE STANDARD HOURS.

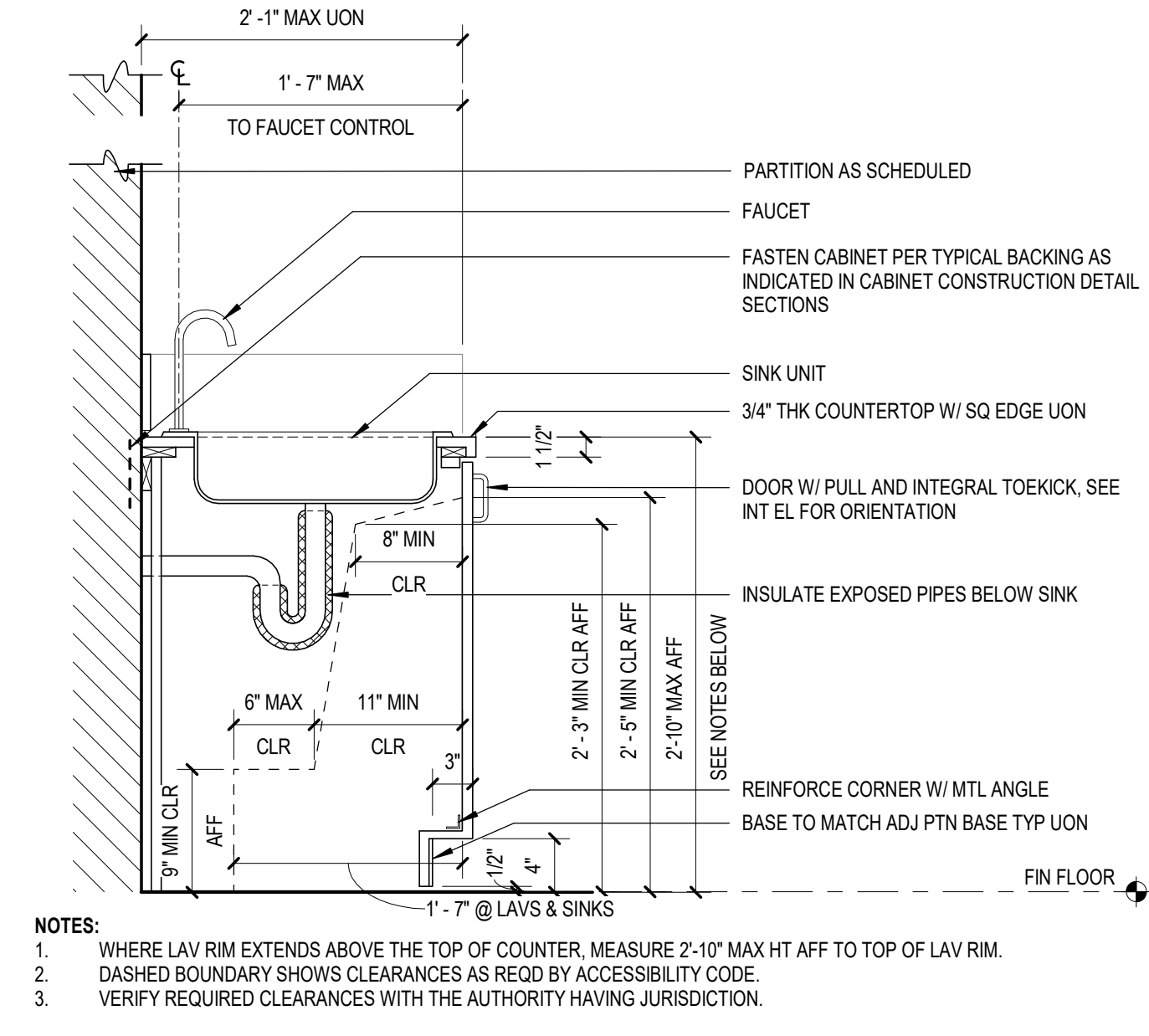
THE FIRST FLOOR STRENGTH ZONE AND MEDITATION/ YOGA ZONE WILL START CLASSES AND GROUP SESSIONS AT 5AM, WITH A PEAK OF 7AM AND TAPERING OFF BY 8AM. THERE WILL BE A SECOND WAVE OF USERS BETWEEN 4PM AND 8PM WITH A PEAK OF 6PM. THE FIRST FLOOR WILL BE OPEN 7 DAYS A WEEK ONLY TO TRAINERS, THEIR CLIENTS, AND WORK ZONE MEMBERS.

THE FIRST FLOOR CHIROPRACTIC, AYURVEDIC, AND ACUPUNCTURE DOCTORS WILL BE TAKING APPOINTMENTS WITH STANDARD BUSINESS HOURS, 8-5 M-F. THIS WOULD FALL UNDER THE STANDARD BUSINESS OFFICE USE PREVIOUSLY APPROVED FOR THIS SPACE.

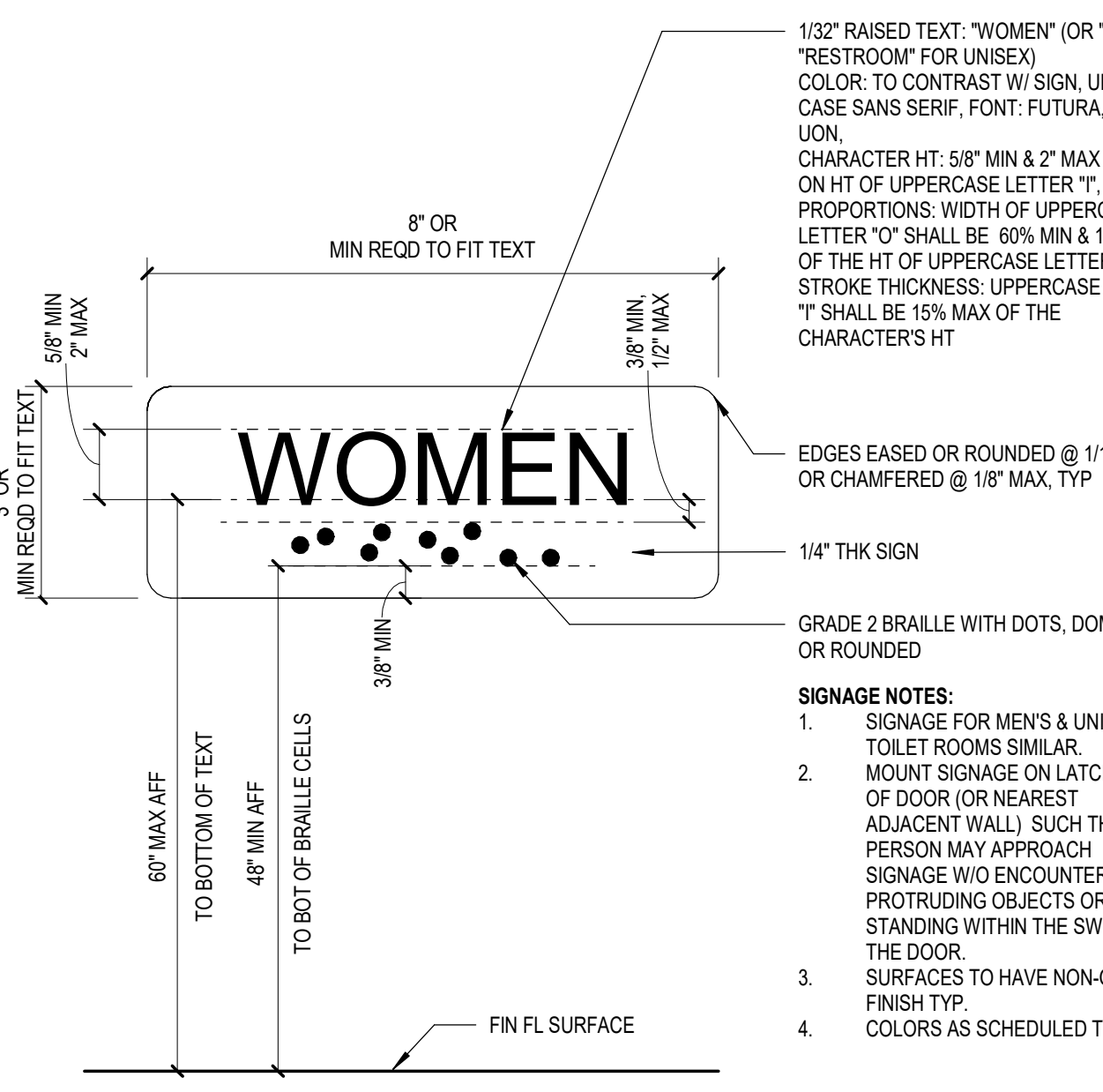
THE FIRST AND SECOND FLOOR HAVE AN INVERSE EFFECT ON EACH OTHER, MEANING AS ONE INCREASES, THE OTHER DECREASES WHICH IS OUR INTENDED BUSINESS MODEL. IN A PERFECT SCENARIO, 70% OF THE WORK ZONE MEMBERS WOULD BE OCCUPYING THE STRENGTH ZONE ON THEIR OFF HOURS TO CREATE THE MIND/BODY BALANCE WE AIM TO ACHIEVE.

**PLUMBING LOAD SCHEDULE**

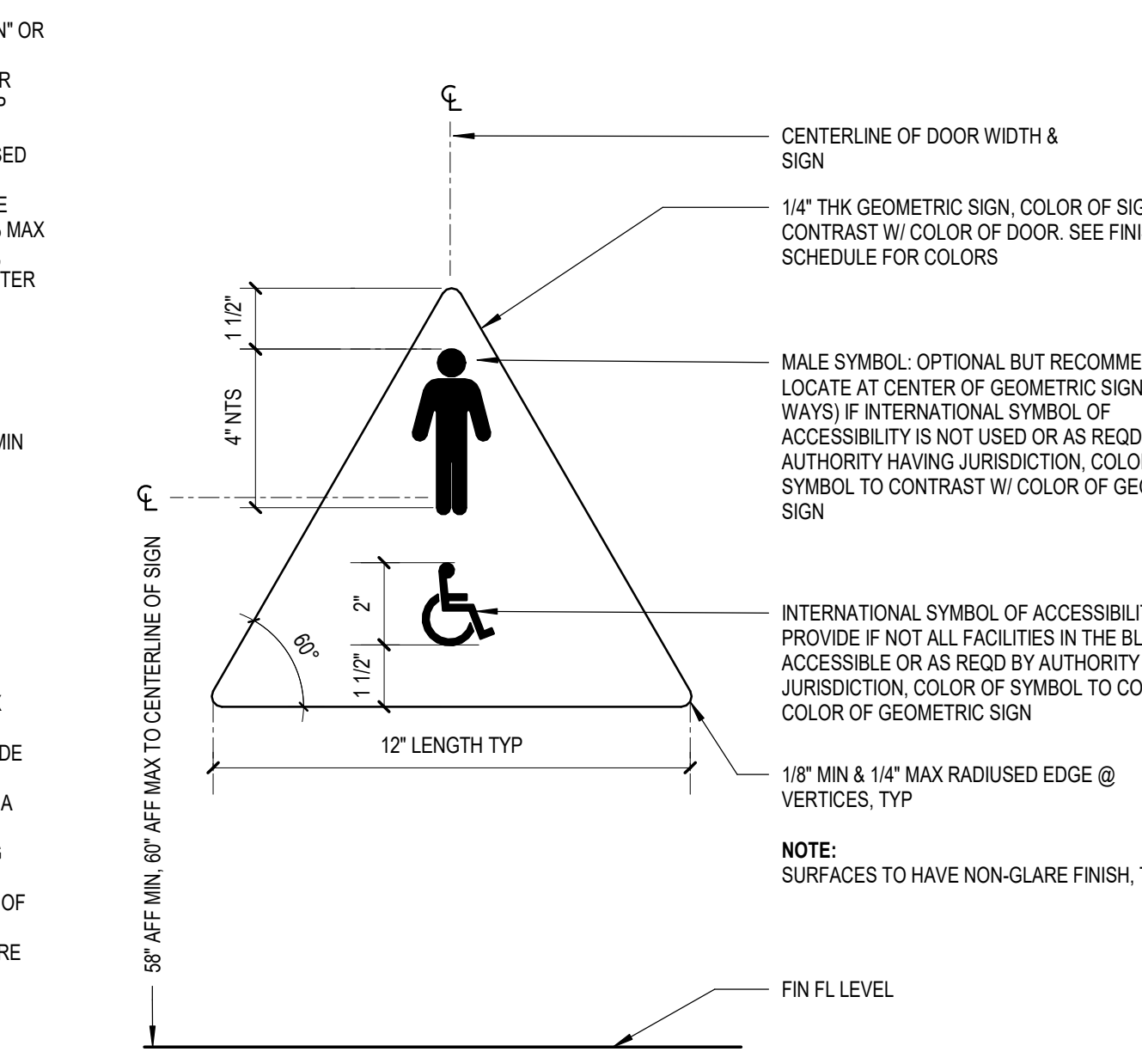
FUNCTION	SF	TOTAL PLUMBING OCCUPANT LOAD	WATER CLOSETS				LAVATORIES			
			REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
B	5978.98 / 200	29/2 = 15 MEN & 15 WOMEN	1	2	1	2	1	2	1	2
A	5946.80 / 30	198/2 = 99 MEN & 99...	1	2	3	2	1	2	1	2
TOTAL			2	4	4	4	2	4	2	4



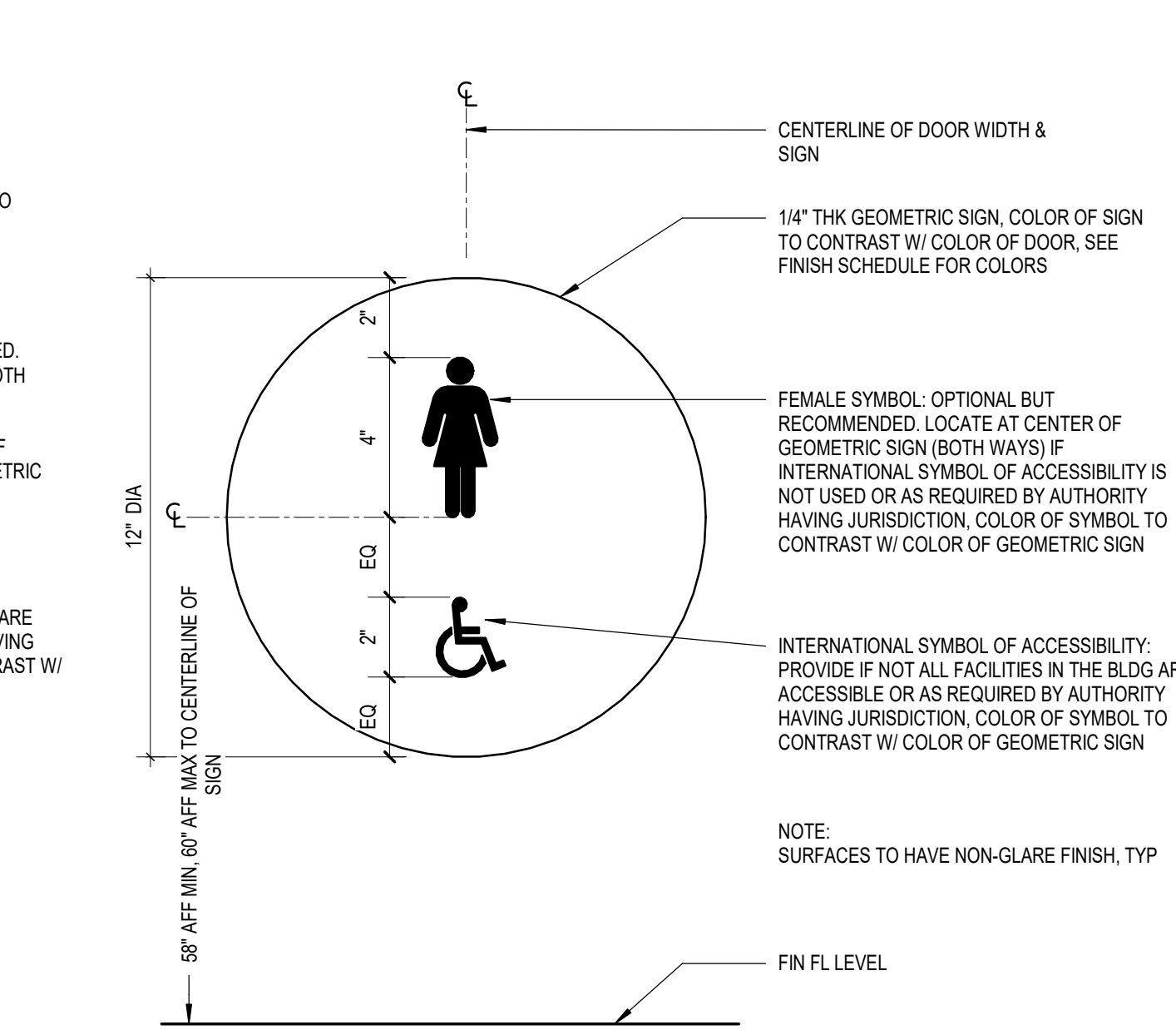
BASE CABINET W/ ACCESSIBLE SINK & DOOR  
1" = 1'-0"



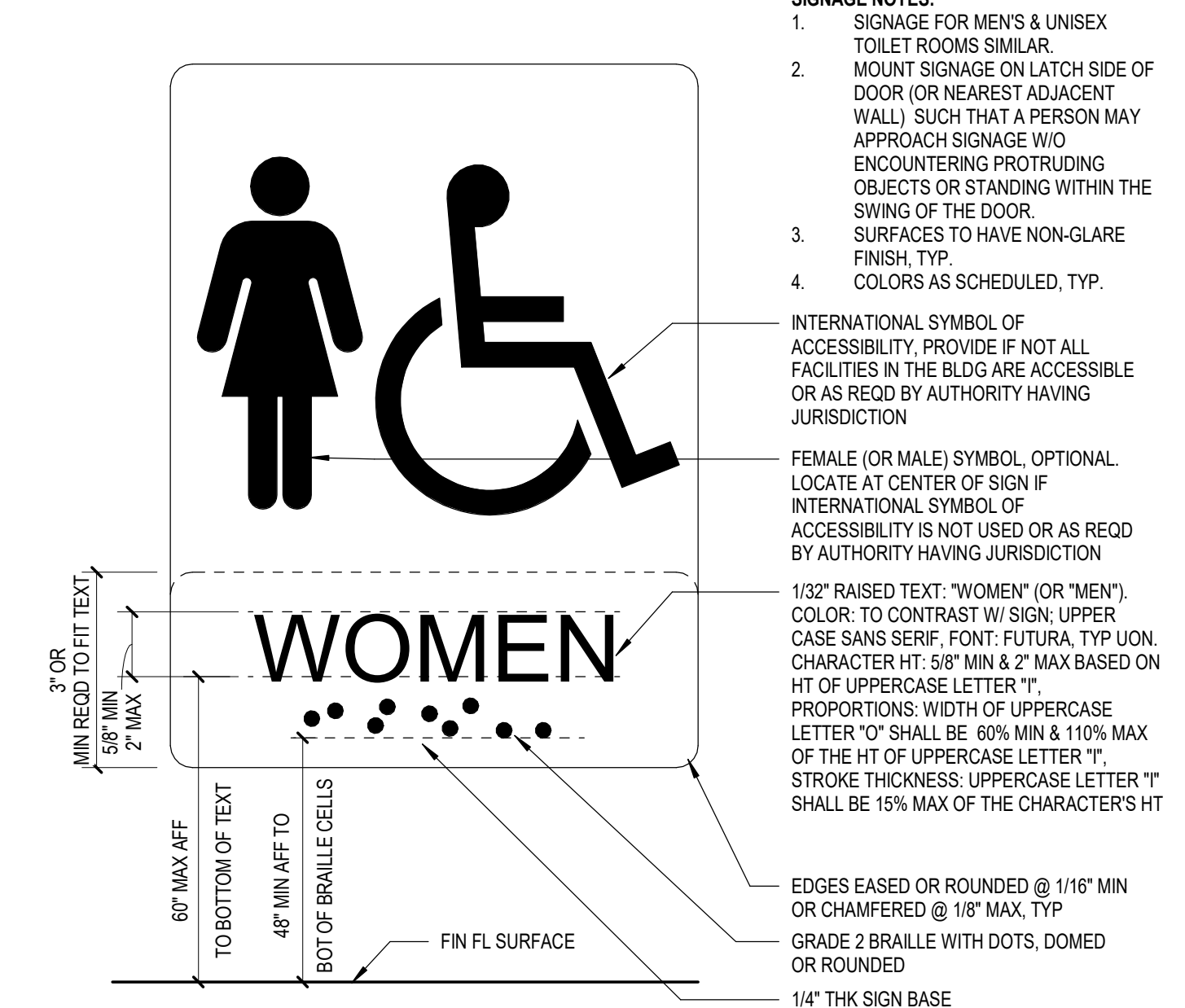
SIGNAGE - WOMEN'S RESTROOM SIGN WALL MTD  
6" = 1'-0"



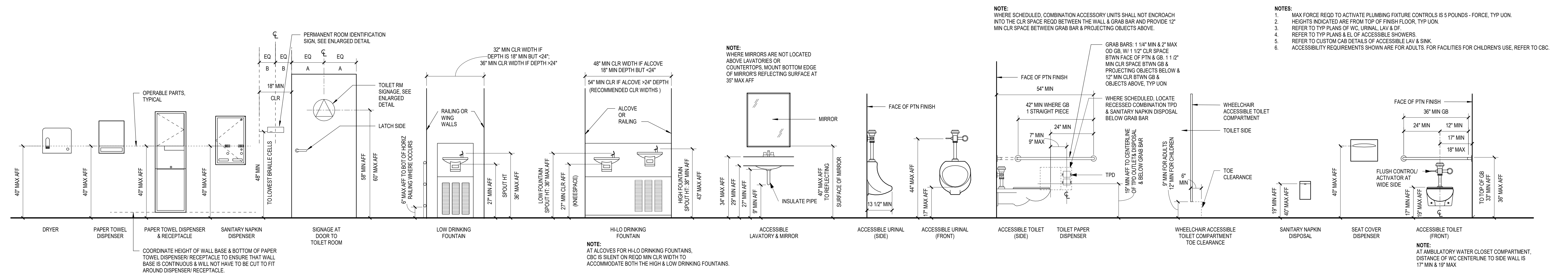
SIGNAGE - MEN'S RESTROOM SIGN DOOR MTD  
3" = 1'-0"



SIGNAGE - WOMEN'S RESTROOM SIGN DOOR MTD  
3" = 1'-0"



SIGNAGE - WOMEN'S RESTROOM PICTOGRAM WALL SIGN  
6" = 1'-0"



RESTROOM FIXTURE AND ACCESSORY MOUNTING HEIGHTS  
1/2" = 1'-0"

**THE RISING ZONE (TRZ)**

5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE: \_\_\_\_\_  
ISSUE DATE: \_\_\_\_\_

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK	10/11/2023

SCALE: \_\_\_\_\_ As Indicated

PROJECT NUMBER: 2224023.00

DRAWN BY: SG

CHECKED BY: ML

STAMP: \_\_\_\_\_



**TYPICAL ACCESSIBILITY DETAILS**

NOTE: AT AMBULATORY WATER CLOSET COMPARTMENT, DISTANCE OF WC CENTERLINE TO SIDE WALL IS 17" MIN & 19" MAX.



# PROJECT SPECIFICATIONS - DIV 01

## DIVISION 01 - GENERAL REQUIREMENTS

### SECTION 01100 - SUMMARY

- A. TYPE OF CONTRACT: Project will be constructed under a single prime contract in one phase.
- B. DEFINITIONS: Day refers to complete business days 8:00AM to 5:00 PM.
- C. SEPARATE CONTRACTORS: Coordinate the Work of this Contract with work performed under separate contracts.
- D. ACCESS TO SITE: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
- 1. DRIVEWAYS, WALKWAYS AND ENTRANCES: Keep driveways parking garage, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
  - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
  - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- E. CONDITION OF EXISTING BUILDING: Maintain portions of existing building affected by construction operations in a weather-tight condition throughout construction period. Repair damage caused by construction operations.
- F. PARTIAL OWNER OCCUPANCY: If Owner will occupy the premises during the entire construction period with the exception of areas under construction, cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage.
  - 1. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.
  - 2. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and Authorities Having Jurisdiction.
  - 3. Provide not less than three business days' notice to Owner of activities that will affect Owner's operations.
- G. WORK RESTRICTIONS: Comply with restrictions on construction operations. Coordinate with the Building Owner Representative for restrictions on building security, access, use of water and power, waste disposal, cleaning, and other areas of work where coordination with the building functions is required.
  - 1. Comply with limitations on use of the public streets and with other requirements of Authorities Having Jurisdiction.
- H. ON-SITE WORK HOURS: Limit work of existing building to normal business hours unless approved by the Building Owner.
- I. EXISTING UTILITY INTERUPTIONS AND DISRUPTIVE OPERATIONS: Do not interrupt utility services facilities controlled by Owner or others, or engage in disruptive operations, unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
  - 1. Notify Owner not less than three business days in advance of proposed utility interruptions or operations that may result in high levels of noise, vibration, and odors.
  - 2. Obtain Owner's written permission before proceeding with utility interruptions or disruptive operations
- J. Use of tobacco products and other controlled substances within the existing building is not permitted.

END OF SECTION 01100

### SECTION 01200 - DELEGATED DESIGN

- A. DEFINITION - Delegated Design Work Items: Portions of the Work indicated as such in the Contract Documents, and identified as such in the Agreement, to be performed by the Contractor on a "Delegated Design" basis. The Contractor, rather than the Architect, is solely responsible for:
  - 1. The design of such systems;
  - 2. The coordination of the Delegated Design subcontractors, who shall be the engineers of record for such systems;
  - 3. The coordination of Delegated Design with the Architect's design;
  - 4. The coordination with, and determination of, requirements by local jurisdiction;
  - 5. Submit preparation and presentation to local jurisdiction for approval (permit process).
- B. DELEGATED-DESIGN SERVICES:
  - 1. Where professional design services or certifications by a design professional are specifically required by Contractor by the Contract Documents, provide products and systems complying with specific performance and design criteria indicated.
  - 2. If criteria indicated are not sufficient to perform services or certification required, submit a written request for additional information to Architect.
  - 3. Delegated-Design Services Certification: In addition to Shop Drawings, Product Data, and other required submittals, submit calculations and shop drawings as applicable, signed and sealed by the responsible design professional, for each product and system specifically assigned to Contractor to be designed or certified by a design professional. Indicate that products and systems comply with performance and design criteria in the Contract Documents.

END OF SECTION 01200

### SECTION 01250 - SUBSTITUTION PROCEDURES

- A. SECTION INCLUDES: Administrative and procedural requirements for substitutions.
- B. DEFINITION - SUBSTITUTIONS: Changes in products, materials, equipment, and methods of construction from those required by the Contract Documents and proposed by Contractor.
- C. SUBSTITUTION REQUESTS: Submit a completed RMW Substitution Request Form, signed and certified, in PDF format. Identify product or fabrication or installation method to be replaced. An electronic file of the RMW Substitution Request is available to the Contractor upon request.
  - 1. Architect's Action: If necessary, Architect will request additional information or documentation for evaluation within three business days of receipt of a request for substitution. Architect will issue a written request for substitution or rejection of proposed substitution within three business days of receipt of request, or three business days of receipt of additional information or documentation, whichever is later.
    - a. Forms of specification: Change Order or RMW Bulletin.
    - b. Use of product specified: Architect does not issue a decision on use of a proposed substitution within time allocated.
- D. COMPATIBILITY OF SUBSTITUTIONS: Investigate and document compatibility of proposed substitution with related products and materials.
- E. Submit requests for substitution immediately on discovery of need for change, but not later than 10 business days prior to time required for preparation and review of related submittals.

END OF SECTION 01250

### SECTION 01300 - CONTRACT MODIFICATION PROCEDURES

- A. SECTION INCLUDES: Administrative and procedural requirements for handling and processing Contract modifications.
- B. MINOR CHANGES IN THE WORK: Architect will issue supplemental instructions authorizing minor changes in the Work, not involving adjustment to the Contract Sum or the Contract Time, on an RMW Bulletin Form.
- C. OWNER-INITIATED PROPOSAL REQUESTS: Architect will issue a detailed description of proposed changes in the Work that may require adjustment to the Contract Sum or the Contract Time in an RMW Bulletin Form. If necessary, the description will include supplemental or revised Drawings and Specifications. These requests are not instructions either to stop work in progress or to execute the proposed change.
  - 1. Within time specified in the RMW Bulletin after receipt of the Bulletin, submit a quotation estimating cost adjustments to the Contract Sum and the Contract Time necessary to execute the change.
  - 2. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.
  - 3. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.
  - 4. Include costs of labor and supervision directly attributable to the change.
  - 5. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.
  - 6. Quotation Form: Use forms acceptable to Architect.
- D. CONTRACTOR-INITIATED WORK CHANGE PROPOSALS: If intent or changed conditions require modifications to the Contract, Contractor may initiate a claim by submitting a request for a change to Architect.

- 1. Include a statement outlining reasons for the change and the effect of the change on the Work. Provide a complete description of the proposed change. Include the effect of the proposed change on the Contract Sum and the Contract Time.
- 2. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.
- 3. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.
- 4. Include costs of labor and supervision directly attributable to the change.
- 5. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.
- 6. Comply with requirements in Section 012500 "Substitution Procedures" if the proposed change requires substitution of one product or system for product or system specified.
- 7. Work Change Proposal Request Form: Use form acceptable to Architect.

- E. On Owner's approval of a response to a Bulletin on a Work Changes Proposal Request, Architect will issue a Change Order for signatures of Owner and Contractor on AIA Document G701.
- F. Architect will instruct the Contractor to proceed with a change in the Work for subsequent inclusion in a Change Order using a RMW Bulletin.

- 1. The Bulletin contains a complete description of change in the Work. It also prescribes method to be followed to determine change in the Contract Sum and the Contract Time.
- 2. Documentation: Maintain detailed records on a time and material basis of work required by the Bulletin.
  - 1. After completion of change, submit an itemized account and supporting data necessary to substantiate cost and time adjustments to the Contract.

END OF SECTION 01300

### SECTION 01350 - PAYMENT PROCEDURES

- A. Coordinate procedures for applications for payment with the Owner's Representative.
- B. SECTION INCLUDES: Administrative and procedural requirements necessary to prepare and process Applications for Payment.
- C. SCHEDULE OF VALUES: Coordinate preparation of the schedule of values with preparation of Contractor's Construction Schedule.
  - 1. Submit the Schedule of Values to Architect at earliest possible date but not later than five business days before the date scheduled for submittal of initial Applications for Payment.
- D. Each Application for Payment shall be consistent with previous applications and payments as certified by Architect and paid for by Owner. Use forms acceptable to Owner and Architect for Applications for Payment.
- E. TRANSMITTAL: Submit a signed electronic file of each Application for Payment to Architect. Include the waivers of lien and similar attachments if required.
  - 1. Include a transmittal form listing attachments and recording appropriate information about application.
- F. WAIVERS OF MECHANIC'S LIEN: With each Application for Payment, submit waivers of mechanic's lien from entities lawfully entitled to file a mechanic's lien arising out of the Contract and related to the Work covered by the payment. Comply with the Requirements of the California Department of Consumer Affairs, Contractors State License Board.
  - 1. Submit partial waivers on each item for amount requested in previous application, after deduction for retentions, on each item.
  - 2. When an application shows completion of an item, submit conditional final or full waivers.
  - 3. Owner reserves the right to designate which entities involved in the Work must submit waivers.
  - 4. Waiver Forms: Submit executed waivers of lien on forms acceptable to Owner.

END OF SECTION 01350

## SECTION 01400 - PROJECT MANAGEMENT AND COORDINATION

- A. SECTION INCLUDES: Administrative provisions for coordinating construction operations on the Project.
  - 1. Coordination drawings.
  - 2. Requests for Information (RFIs).
  - 3. Project meetings.
- B. Schedule construction operations in sequence required to obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.
  - 1. Coordinate installation of different components to ensure maximum performance and accessibility for required maintenance, service, and repair.
  - 2. Make adequate provisions to accommodate items scheduled for later installation.
- C. COORDINATION DRAWINGS: Prepare coordination drawings where installation is not completely shown on Shop Drawings, where limited space availability necessitates coordination, or where coordination is required to facilitate integration of products and materials fabricated or installed by more than one entity.
  - 1. Floor Plans and Reflected Ceiling Plans: Show architectural and structural elements, and mechanical, plumbing, fire-protection, fire-alarm, and electrical Work. Show locations of visible ceiling-mounted devices relative to acoustical ceiling grid.
  - 2. Submit other coordination drawings as needed, including plenum space, electrical, mechanical, and fire protection work.
  - 3. Review. Architect will review coordination drawings to confirm that the Work is being coordinated, but not for the details of the coordination, which are Contractor's responsibility.
- D. RFIs: Immediately on discovery of the need for additional information or interpretation of the Contract Documents, prepare and submit an RFI in PDF format.
  - 1. Architect will return RFIs submitted to Architect by other entities controlled by Contractor with no response.
    - a. Coordinate and submit RFIs in a prompt manner so as to avoid delays in Contractor's work or work of subcontractors.
    - b. Attachments: Include sketches, descriptions, measurements, photos, Product Data, Shop Drawings, coordination drawings, and other information necessary to fully describe items needing interpretation.
  - 2. RFI Forms: Software-generated form with the following information:
    - a. Project name and number, date.
    - b. Names of Contractor and Architect.
    - c. RFI number, numbered sequentially and RFI subject.
    - d. Specification Section number, title, and paragraph, or Drawing number and detail reference, as appropriate.
    - e. Field dimensions and conditions, as appropriate.
    - f. Contractor's suggested resolution, if Contractor's suggested resolution impacts the Contract Time or the Contract Sum. Contractor shall state impact in RFI.
    - g. Contractor's signature.
    - h. Include other information necessary to fully describe items needing interpretation.
  - 3. Architect's Action: Architect will review each RFI, determine action required, and respond. Allow five business days for Architect's response for each RFI. RFIs received by Architect after 1:00 p.m. will be considered as received the following working day.

- a. The following RFIs will be returned without a reply:
  - 1. Requests for approval of submittals or for substitutions.
  - 2. Requests for information already indicated in the Contract Documents.
  - 3. Requests for adjustments in the Contract Time or the Contract Sum.
  - 4. Requests for interpretation of Architect's actions on submittals.
  - 5. Incomplete RFIs or inaccurately prepared RFIs.
- b. Architect's action on RFIs may require for additional information, in which case Architect's time for response will include time from time of receipt of additional information.
- c. Architect's action on RFIs that may result in a change to the Contract Time or the Contract Sum may be eligible for Contractor to submit Change Proposal according to Section 012600 "Contract Modification Procedures."

- 4. If Contractor believes the RFI response warrants change in the Contract Time or the Contract Sum, notify Architect in writing within three business days of receipt of the RFI response.
- 5. RFI Log: Prepare, maintain, and submit a tabular log of RFIs organized by the RFI number. Submit log weekly.
- 6. On receipt of Architect's action, update the RFI log and immediately distribute the RFI response to affected parties. Review responses and notify Architect within three business days of Contractor's dispute with response.

- E. PROJECT MEETINGS: Schedule and conduct meetings at Project site unless otherwise indicated.
  - 1. Schedule Preconstruction, Progress Meetings, and Pre-Installation Meetings. Determine list of participants and others involved, date and time of each meeting. Notify Owner and Architect of scheduled meeting dates and times.
  - 2. Agenda: Prepare the meeting agenda. Distribute the agenda to all invited attendees.
  - 3. Minutes: Employ responsible for conducting meeting will record significant discussions and agreements achieved. Distribute the meeting minutes to everyone concerned, including Owner and Architect, within three business days of the meeting.

END OF SECTION 01400

## SECTION 01420 - REFERENCES

- A. Basic Contract definitions are included in the Conditions of the Contract and the Cover Sheet.
- B. INDUSTRY ORGANIZATIONS: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Gale's "Encyclopedia of Associations: National Organizations of the U.S." or in Columbia Books' "National Trade & Professional Associations of the United States."
- C. INDUSTRY STANDARDS: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if found or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference.

- 1. Publication Dates: Comply with standards in effect as of date of the Contract Documents unless otherwise indicated.
- 2. Copies of Standards: Each copy of applicable standards on Project should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents. Where copies of standards are needed to perform a required construction activity, obtain copies directly from publication source.

END OF SECTION 01420

## SECTION 01500 - TEMPORARY FACILITIES AND CONTROLS

- A. SECTION INCLUDES: Requirements for temporary utilities, support facilities, and security and protection facilities.
- B. CHARGES: Installation and removal of and use charges for temporary facilities shall be included in the Contract Sum unless otherwise indicated. Advise other entities to use temporary services and facilities without cost, including, but not limited to, Architect, testing agencies, and authorities having jurisdiction.
- C. ELECTRIC SERVICE: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70. Arrange for authorities having jurisdiction to test and inspect each utility before use. Obtain required certifications and approvals.
  - 1. Provide temporary lighting with local switching that provides adequate illumination for construction operations, observations, inspectors, and traffic conditions.
- D. ACCESSIBLE TEMPORARY EGRESS: Comply with applicable provisions in the U.S. Architectural & Transportation Barriers Compliance Board's ADA-ABA Accessibility Guidelines and other applicable requirements.
- E. PERMANENT HVAC SYSTEM: If Owner authorizes use of permanent HVAC system for temporary use during construction, provide fire with MERV 8 or at each return-air grille in system and remove it end of construction.
- F. SANITARY FACILITIES: Provide temporary toilets, wash facilities, and drinking water for use of construction personnel. Comply with requirements of authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities.
  - 1. If use of Owner's existing toilet facilities is permitted by the Building Owner Representative, use as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
  - 2. Clean and maintain in a condition acceptable to Owner. At Substantial Completion, restore elevators to condition existing before initial use, including replacing worn cables, guide shoes, and similar items of limited life.
  - 3. Do not load elevators beyond their rated weight capacity.
  - 4. Provide protective coverings, barriers, devices, signs, or other procedures to protect elevator car and entrance doors and frame. If, despite such protection, elevators become damaged, engage elevator installer to restore damaged work so no evidence remains of corrosion work. Return items that cannot be refinished in field to the shop, make required repairs and refinish entire unit, or provide new units as required.
- I. EXISTING STAIR USAGE: Use of Owner's existing stairs will be permitted, provided stairs are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore stairs to condition existing before initial use.

- 1. Distribute copies of approved schedules, drawings, signs, or other procedures to protect stairs and to maintain means of egress, if stairs become damaged, restore damaged areas so no evidence remains of corrosion work.

- J. PROTECTION OF EXISTING FACILITIES: Protect existing vegetation, equipment, structures, utilities, and other improvements at Project site and on adjacent properties, except those indicated to be removed or altered by Contract Documents to existing facilities.
- K. ENVIRONMENTAL PROTECTION: Provide existing protection, operate temporary facilities, and conduct construction as required to comply with environmental regulations and that minimize possible air, waterway, and subsal contamination or pollution or other undesirable effects.

- L. BARRICADES, WARNING SIGNS, AND LIGHTS: Comply with requirements of authorities having jurisdiction for erecting structurally adequate barricades, installing warning signs and lighting.
- M. TEMPORARY EGRESS: Maintain temporary egress from existing occupied facilities as indicated and as required by authorities having jurisdiction.

- N. TEMPORARY ENCLOSURES: Provide temporary enclosures for protection of construction, in progress and completed, from exposure, foul weather, other construction operations, and permanent enclosures is complete, insulate temporary enclosures.
  - 1. Where heating or cooling is needed for construction and site activities, provide, insulate temporary enclosures.

- O. TEMPORARY PARTITIONS: Provide floor-to-ceiling dustproof partitions to limit dust and dirt migration and to separate areas occupied by Owner and tenants from fumes and noise.
  - 1. Construct dustproof partitions with gypsum wallboard with joints taped on occupied side, and fire-retardant-treated plywood on non-occupied side.
  - 2. Where fire-resistance-rated temporary partitions are indicated or are required by Authorities Having Jurisdiction, construct partitions according to the related assemblies.
  - 3. Insulate partitions to control noise transmission to occupied areas.
  - 4. Seal joints and perimeter. Equip partitions with gasketed door locks and security locks where openings are required.
  - 5. Protect air-handling equipment.
  - 6. Provide walk-off mats at each entrance through temporary partition.

- P. TEMPORARY FIRE PROTECTION: Install and maintain temporary fire-protection facilities of types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 241, manage fire prevention program.
  - 1. Prohibit smoking in construction areas.
  - 2. Supervise welding operations, combustion-type temporary heating units, and similar sources of fire ignition according to requirements of authorities having jurisdiction.
  - 3. Develop and supervise an overall fire-prevention and -protection program for personnel at Project site. Review needs with local fire department and establish procedures to be followed. Instruct personnel in methods and procedures. Post warnings and information.
  - 4. Fire-Safety Program: Show compliance with requirements of NFPA 241 and authorities having jurisdiction. Select Contractor personnel responsible for management of fire-prevention program.
  - a. Fire Extinguishers: Portable, UL listed, with class and extinguishing agent as required by locations and classes of fire exposures.

- Q. TEMPORARY FACILITY CHANGE-OVER: Do not change over from using temporary security and protection facilities to permanent facilities until Substantial Completion.
- R. TERMINATION AND REMOVAL: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete if, as necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.

END OF SECTION 01500

## SECTION 01600 - PRODUCT REQUIREMENTS

- A. SECTION INCLUDES: Administrative and procedural requirements for selection of products for use in Project, product delivery, storage, and handling; manufacturer's standard warranties on products and special warranties.
- B. BASIS-OF-DESIGN PRODUCT SPECIFICATION: A specification in which a single manufacturer's product is named and accompanied by the words "Basis-Of-Design Product." The basis-of-design product description is given for purposes of evaluating comparable products of additional manufacturers named in the specification or products proposed for substitution.
- C. COMPARABLE PRODUCT: Product that is demonstrated and approved through submittal process to have the indicated qualities related to type, function, dimension, in-service performance, physical properties, appearance, and other characteristics that equal or exceed those of the "Basis of Design Product."
- D. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft and vandalism. Comply with manufacturer's written instructions.
- E. Warranties provided for other Sections shall be in addition to, and unconnected with, other warranties required by the Contract Documents. Manufacturer's warranties and limitations on product warranties do not relieve Contractor of obligations under requirements of the Contract Documents.
  - 1. Manufacturer's Warranty: Written warranty furnished by individual manufacturer for a particular product and specifically endorsed by manufacturer to Owner.
  - 2. Special Warranty: Written warranty required by the Contract Documents to provide specific rights for Owner.
- F. VISUAL SELECTION SPECIFICATION: Where Specifications include the phrase "as selected by Architect from manufacturer's full range" or similar phrase, select a product that complies with requirements. Architect will select color, gloss, pattern, density, or texture from manufacturer's product line that includes both standard and premium lines.

END OF SECTION 01600

## SECTION 01650 - SUBMITTALS

- I. RESUBMITTALS: Make resubmittals in same form and number of copies as initial submittal.
- J. DISTRIBUTION: Furnish copies of final submittals to manufacturer, subcontractors, suppliers, fabricators, installers, authorities having jurisdiction, and others as necessary for performance of construction activities. Show distribution on transmittal forms.
- K. USE FOR CONSTRUCTION: Retain complete copies of submittals on Project site. Use only final action submittals that are marked with approval notation from Architect's action stamp.
- L. CONTRACTOR'S APPROVAL STAMP: Stamp each submittal with a uniform, approval stamp. Include Project name and location, submittal number, Specification Section title and number, name of reviewer, date of Contractor's approval, and statement certifying that submittal has been reviewed, checked, and approved for compliance with the Contract Documents.
- M. ARCHITECT'S ACTION: Architect will review submittals that do not bear Contractor's approval stamp and will return them without action.
  - 1. Incomplete submittals are unacceptable, will be considered nonresponsive, and will be returned for resubmittal without review.
  - 2. Submittals not required by the Contract Documents may not be reviewed and may be discarded.

END OF SECTION 01650

## SECTION 01700 - EXECUTION

- A. SECTION INCLUDES: General administrative and procedural requirements governing execution of the Work:
  - 1. Cutting and patching.
  - 2. Coordination of Owner-installed products.
  - 3. Process cleaning.
  - 4. Starting and adjusting.
  - 5. Protection of installed construction.
- B. CUTTING AND PATCHING: Comply with requirements for and limitations on cutting and patching of construction elements.
  - 1. STRUCTURAL ELEMENTS: Do not cut and patch structural elements, notify Architect of locations and details of cutting and await directions from Architect before proceeding. Show brace, and support structural element during cutting and patching. Do not cut and patch structural elements in a manner that could affect their load-carrying capacity or increase deflection.
  - 2. OPERATIONAL ELEMENTS: Do not cut and patch operating elements and related components in a manner that results in reduced capacity to perform as intended or that results in increased maintenance or decreased operational life or safety.
  - 3. OTHER CONSTRUCTION ELEMENTS: Do not cut and patch other construction elements or components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or decreased operational life or safety.
  - 4. VISUAL ELEMENTS: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch construction in a manner that would, in Architect's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.
- C. FINISH MATERIALS: Use materials for patching identical to replace materials.
  - 1. Patch materials that are unavailable or cannot be used, use materials that, when installed, will provide a match acceptable to Architect for the visual and functional performance of in-place materials.
  - 2. Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay.
  - 3. Cut-in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.
- D. EXISTING WARRANTIES: Remove, replace, patch, and repair materials and surfaces cut or damaged during installation or patching operations. By methods and materials so as not to void existing warranties.
- E. TEMPORARY SUPPORT: Provide temporary support of work to be cut.
- F. PROTECTION: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.
- G. ADJACENT OCCUPIED AREAS: Avoid interference with use of adjoining areas or interruption of the passage to adjoining areas.
- H. EXISTING UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS: Where existing services/systems are required to be removed, relocated, or abandoned, bypass such services/systems before cutting to prevent interruption to occupied areas.

END OF SECTION 01700

## SECTION 01720 - FINISHES

- A. Basic Contract definitions are included in the Conditions of the Contract and the Cover Sheet.
- B. INDUSTRY ORGANIZATIONS: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Gale's "Encyclopedia of Associations: National Organizations of the U.S." or in Columbia Books' "National Trade & Professional Associations of the United States."
- C. FINISH STANDARDS: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if found or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference.
  - 1. Publication Dates: Comply with standards in effect as of date of the Contract Documents unless otherwise indicated.
  - 2. Copies of Standards: Each copy of applicable standards on Project should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents. Where copies of standards are needed to perform a required construction activity, obtain copies directly from publication source.

END OF SECTION 01720

## SECTION 01750 - EXAMINATION AND ACCEPTANCE OF CONDITIONS

- A. SECTION INCLUDES: Requirements for inspection and acceptance of conditions.
  - 1. Inspection: Where feasible, test and inspect patched areas after completion to demonstrate physical integrity of installation.
  - 2. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into related adjoining construction in a manner that will minimize evidence of patching and refinishing.
  - 3. Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform finish, color, texture, and appearance. Repair in-place floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance. If patching walls, joint the entire wall, not only the patched area.
  - 4. Ceilings: Patch, repair, or rehang in-place ceilings as necessary to provide an even-plane surface of uniform appearance.
  - 5. Exterior Building Enclosure: Patch components in a manner that restores enclosure to a weather-tight condition and ensures thermal and moisture integrity of building enclosure.
- B. Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.
- C. EXAMINATION AND ACCEPTANCE OF CONDITIONS: Before proceeding with each component of the Work, examine substrates, areas, and conditions, with Installer or Approver present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations.
  - 1. Examine roughing-in for mechanical and electrical systems to verify actual locations of connections before equipment and fixture installation.
  - 2. Examine walls, floors, and roofs for suitable conditions where products and systems are to be installed.
  - 3. Verify compatibility with utility and substrates, including compatibility with existing finishes or primers.

- F. Proceed with installation only if unsatisfactory conditions have been corrected. Proceeding with the Work indicates acceptance of surfaces and conditions.
- G. FIELD MEASUREMENTS: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delays in the Work.

- H. SPACE REQUIREMENTS: Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- I. REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS: Immediately on discovery of the need for clarification of the Contract Documents caused by differing field conditions outside the control of Contractor, submit a request for information to Architect.

- J. INSTALLATION: Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated.
  - 1. Make vertical work plumb and make horizontal work level.
  - 2. Where critical to installation, install components to maximize space available for maintenance and ease of removal for replacement.
  - 3. Conceal joints, ducts, and wiring in finished areas unless otherwise indicated.

- K. Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.
- L. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion.
- M. Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of operation.

- N. Sequence the Work and allow adequate clearances to accommodate movement of construction items on site and placement in permanent locations.
  - 1. Templates: Obtain and distribute to the parties involved templates for work specified to be factory produced and field installed. Check Shop Drawings of other work to confirm that adequate provisions are made for loading and installing products to specified and indicated requirements.

- O. ATTACHMENT: Provide blocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for listed conditions.
- 1. Mounting Heights: Where mounting heights are not indicated, mount components at heights directed by Architect.
- 2. Allow for building movement, including thermal expansion and contraction.
- 3. Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including product or for a designated portion of Project.
- 4. Deliver such items to Project site in time for installation.

- P. JOINTS: Make joints of uniform width. Where joint locations in exposed work are not indicated, arrange joints for the best visual effect. Fit exposed connections together to form hairline joints.
- Q. HAZARDOUS MATERIALS: Use products, cleaners, and installation materials that are not considered hazardous.

- R. PROGRESS CLEANING: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of construction materials and refuse.
  - 1. Comply with requirements in NFPA 241 and work areas daily, including common areas. Enforce requirements strictly. Dispose of construction materials and refuse.
  - 2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 90°F.
  - 3. Contaminize hazardous and sanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
  - 4. Provide walk-off mats at each entrance through temporary partition.

- S. Maintain Project site free of waste materials and debris.
- T. Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
  - 1. Remove liquid spills promptly.
  - 2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.

- U. INSTALLED WORK: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and will not damage exposed surfaces.

- V. CONCEALED SPACES: Remove debris from concealed spaces before protecting the space.
- W. EXPOSED SURFACES IN FINISHED AREAS: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
  - 1. During handling and erection and protection in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
  - 2. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Clean, dust, and lubricate operable components to ensure operability without damaging effects.

- X. STARTING AND ADJUSTING: Start equipment and operating components to confirm proper operation. Remove malfunctioning units, and adjust components and equipment.
  - 1. Adjust equipment for proper operation. Adjust operating components for proper operation without binding.
  - 2. Test each piece of equipment to verify proper operation. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.

- Y. FINAL PROTECTION: Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
  - 1. Comply with manufacturer's written instructions for temperature and relative humidity.
  - 2. Comply with manufacturer's written instructions for temperature and relative humidity.

END OF SECTION 01750

## SECTION 01760 - CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL

- A. SECTION INCLUDES: Administrative and procedural requirements for non-hazardous construction waste.
- B. GENERAL: Achieve end-of-project waste percentage by weight required by Authorities Having Jurisdiction and CALGreen for salvage/recycling.
  - 1. Provide for recycling of waste materials and debris.
- C. SALVAGED ITEMS FOR REUSE IN THE WORK: Clean salvaged items.
  - 1. Pack or crate items after cleaning. Identify contents of containers.
  - 2. Store items in a secure area until delivery to Owner.
  - 3. Protect items from damage during transport and storage.
  - 4. Install salvaged items to comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make items functional for use indicated.
- D. SALVAGED ITEMS FOR SALE AND DONATION: Not permitted on Project site, unless authorized by Building Owner's Representative.

END OF SECTION 01760

- E. SALVAGED ITEMS FOR OWNERS' USE: Clean salvaged items.
  - 1. Pack or crate items after cleaning. Identify contents of containers.
  - 2. Store items in a secure area until delivery to Owner.
  - 3. Transport items to Owner's storage area off-site.
  - 4. Protect items from damage during transport and storage.
- F. Separate recyclable waste from other waste materials, trash, and debris. Separate recyclable waste by type at Project site to the maximum extent practical according to approved construction waste management plan.
  - 1. Provide appropriately marked containers or bins for controlling recyclable waste until they are removed from Project site. Include list of quantities of materials to be recycled, available quantities of containers and bins.
  - 2. Inspect containers and bins for contamination and remove contaminated materials if found.
  - 3. Stockpile processed materials on-site without interfering with other materials. Place, grade, and shape stockpiles to drain.
  - 4. Sort recyclable waste by material type and separate into piles.
  - 5. Stockpile materials away from construction area. Do not store within drip of remaining trees.
  - 6. Store components off the ground and protect from the weather.
  - 7. Remove recyclable waste from Owner's property and transport to recycling receiver or processor.

END OF SECTION 01760

## SECTION 01770 - CLOSEOUT PROCEDURES

- A. SECTION INCLUDES: Administrative and procedural requirements for contract closeout, including, but not limited to, the following:
  - 1. Substantial Completion procedures.
  - 2. Final completion procedures.
  - 3. Warranties.
  - 4. Final cleaning.
  - 5. Repair of the Work.
- B. SUBMITTALS:
  - 1. Contractor's List of Incomplete Items (PUNCH LIST): Initial submittal at Substantial Completion.
  - 2. Certified List of Incomplete Items: Final submittal at Final Completion.
  - 3. Certificate of Release: From Authorities Having Jurisdiction.
  - 4. Certificate of Insurance: For continuing coverage.
- C. SUBSTANTIAL COMPLETION PROCEDURES: Contractor's List of Incomplete Items: Prepare and submit a list of items to be completed and corrected (Contractor's punch list), indicating the value of each item on the list and reasons why the Work is incomplete.
- D. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: Complete the following a minimum of FIVE BUSINESS DAYS prior to requesting inspection for determination of Substantial Completion. List items below that are incomplete at time of request.
  - 1. Advise Owner of pending insurance coverage requirements.
  - 2. Make final changeover of permanent loads and deliver keys to Owner. Advise Owner's personnel of changeover in security provisions.
  - 3. Complete start-up and testing of systems and equipment.
  - 4. Perform preventive maintenance on equipment used prior to Substantial Completion.
  - 5. Advise Owner of personnel in operation, adjustment, and maintenance of products, equipment, and systems.
  - 6. Advise Owner of changeover in heat and other utilities.
  - 7. Participate with Owner in conducting inspection and walkthrough with local emergency responders, if applicable.
  - 8. Organize list of spaces in sequential order, proceeding from lowest floor to highest floor.
  - 9. Complete final cleaning requirements, including touchup painting.
  - 10. Touch up and otherwise repair and restore marked exposed finishes to eliminate visual defects.
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# PROJECT SPECIFICATIONS - DIV 02-09

## DIVISION 02 – EXISTING CONDITIONS

### SECTION 024119 - SELECTIVE DEMOLITION

- A. SECTION INCLUDES: Demolition and removal of selected portions of building or structure. Salvage of existing items to be reused or recycled.
- B. In occupied buildings, conduct selective demolition so Owner's and other building occupants' operations will not be disrupted.
- C. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practicable. Coordinate with Owner's Representative for removal of existing items or Owner personnel or separate contractors.
- D. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- E. HAZARDOUS MATERIALS: It is not expected that hazardous materials will be encountered in the Work. If suspected hazardous materials are encountered, do not disturb, immediately notify Architect and Owner. Hazardous materials will be removed by Owner under a separate contract.
- F. Storage or sale of removed items at material on-site is not permitted.
- G. UTILITY SERVICES: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Maintain fire-protection facilities in service during selective demolition operations.
- H. EXISTING WARRANTIES: Remove, replace, patch, and repair materials and surfaces out of damaged during selective demolition, by methods and with materials as to not void existing warranties.
- I. PERFORMANCE REQUIREMENTS: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorized hauling jurisdiction. Standards: Comply with ANSI/ASSE A10.8 and NFPA 241.
- J. EXAMINATION: Verify that utilities have been disconnected and capped before starting selective demolition operations. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Architect.

- K. EXISTING SERVICES/SYSTEMS TO REMAIN: Maintain services/systems indicated to remain and protect them against damage.
- L. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.
- M. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to building and facilities to remain.
- N. SELECTIVE DEMOLITION, GENERAL: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
  1. Ready cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chipping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
  2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marking existing finished surfaces.
  3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain fire watch and portable fire-suppression devices during flame-cutting operations.
  4. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
  5. Dispose of demolished items and materials promptly.

- O. REMOVED AND SALVAGED ITEMS: Clean salvaged items.
  1. Pack or crate items after cleaning. Identify contents of containers.
  2. Store items in a secure area until delivery to Owner.
  3. Transport items to Owner's storage area off-site.
  4. Protect items from damage during transport and storage.
- P. REMOVED AND REINSTALLED ITEMS: Clean and repair items to functional condition adequate for intended reuse.
  1. Pack or crate items after cleaning and repairing. Identify contents of containers.
  2. Protect items from damage during transport and storage.
  3. Reinstall items in accordance with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.

- D. EXISTING ITEMS TO REMAIN: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.
- R. DISPOSAL OF DEMOLISHED MATERIALS: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.

- Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations begin.
- END OF SECTION 024119
- END OF DIVISION 02
- DIVISION 03 – CONCRETE
- SECTION 030130 - NON-STRUCTURAL PATCHING OF CONCRETE SLABS
- A. SECTION INCLUDES: Non-Structural patching, rebuilding, and repair of existing concrete surfaces where indicated on the Drawings, or where required to accommodate new work.
- B. SUBMITTALS: Product Data for each type of product.
- C. ENVIRONMENTAL REQUIREMENTS: Use product only when allowed by manufacturer for temperatures and general conditions at the time of application.
- D. CEMENTITIOUS PATCHING MORTAR:
  1. Basis of Design Product: Ardes CP – Concrete Patch.
- E. Mix products, in clean containers, according to manufacturer's written instructions.
  1. When practical, use manufacturer's premeasured packages to ensure that materials are mixed in proper proportions. When premeasured packages are not used, measure ingredients using graduated measuring containers, do not estimate quantities or use shovel or trowel as unit of measure.
  2. Do not mix more materials than can be used within recommended open time. Discard materials that have begun to set.

- Comply with manufacturer's written instructions and recommendations for application of products, including surface preparation.
- END OF SECTION 030130
- SECTION 033544 - POLISHED CONCRETE FINISHING
- A. SECTION INCLUDES: Mechanically polished concrete finish – No Color Added and Color Added. Refer to Schedule of Finishes in the Drawings for level of polish and for color selected.
- B. SUBMITTALS: Product Data for each type of product.
  1. Polishing Schedule: Show polishing concrete surfaces and schedule of polishing operations for each area of polished concrete before start of polishing operations.
- C. MOCKUPS: If directed by Architect, build mockups in the location and size directed by the Architect to verify selections made under Sample submittals and to demonstrate joint types, surface finish, tolerances, and standard of workmanship. Build mockups using materials indicated for the completed Work.
- D. ENVIRONMENTAL LIMITATIONS: Comply with manufacturer's written instructions for substrate temperature and moisture content, ambient temperature and humidity, ventilation, and other conditions affecting performance and finishing requirements.
- E. SYSTEM MATERIALS - Polished Concrete Without Color Added:
  1. Basis of Design Manufacturer: PROSOCC, Inc., (800) 255-4245.
  2. Pre-Oxidized Concrete Cleaner: To remove dirt, oil, grease, and other stains from existing slab surface.
    - a. Basis of Design Product: Consoldeck Cleaner/Depositor.
  3. Penetrating Concrete Hardener/Sealer:
    - a. Basis of Design Product: Consoldeck LS
  4. Interior Concrete Protective Treatment:
    - a. Basis of Design Product: Consoldeck LSGuard.
  5. Sealer:
    - a. Basis of Design Product: Consoldeck Concrete Protector.
- F. SYSTEM MATERIALS - Polished Concrete With Color Added:
  1. Basis of Design Product: Laticrete FGS PernaShine, level of polish as indicated on the Drawings.
  2. Components:
    - a. Hardener: Sealer: Densifier: FGS Hardener Plus.
    - b. Joint Filler: Joint Tie 750.
    - c. Crack Repair: PERK Restore.
    - d. Oil Repellent Sealer: Petrotex.
    - e. Concrete Dyes: Vivid Concrete Dyes, color as indicated on the Drawings.
- G. Comply with manufacturer's written recommendations product applications.

- Diamond polish concrete floor surfaces with power grid machine recommended by floor finish manufacturer. Sequence with coarse to fine grit. Installer to determine optimum starting grit in order to achieve the specified aggregate exposure.
- END OF SECTION 033544
- SECTION 033940 - CONCRETE SEALER-DENSIFIER
- A. SECTION INCLUDES: Application of a sealer/densifier/hardener for exposed concrete floors where indicated and where no other concrete finish is scheduled.
- B. ENVIRONMENTAL REQUIREMENTS: Use product only when allowed by manufacturer for temperatures and general conditions at the time of application.
- C. CEMENTITIOUS PATCHING MORTAR: Packaged, dry mix, one-component polymer-modified portland cement-based towel-grade cementitious topping for filling and repairing concrete.
  1. Basis of Design Product: SEAL HARD, Laticrete.
- D. Comply with manufacturer's written recommendations for sealer installation. Applied undiluted sealer to prepared surfaces at rate recommended by manufacturer in one coat.

- Allow surfaces to remain wet with sealer a minimum of 30 minutes and a maximum of one hour. Remove excess sealer at end of application procedure by water flushing and then squeegee dry.
- END OF SECTION 033940
- END OF DIVISION 3
- DIVISION 05 – METALS
- SECTION 050000 – METAL FABRICATIONS
- A. SECTION INCLUDES: Miscellaneous steel framing and supports.
- B. METAL SURFACES, GENERAL: Provide materials with smooth, flat surfaces without blemishes.
- C. FERROUS METALS:
  1. Steel Plates, Shapes, and Bars: ASTM A 36/A 36M.
  2. Stainless-Steel Bars and Shapes: ASTM A 276, Type 304.

- 3. Steel Tubing: ASTM A 500, cold-formed steel tubing
- 4. Steel Pipe: ASTM A 53/A 53M, standard weight (Schedule 40) unless otherwise indicated.
- D. NONFERROUS METALS:
  1. Aluminum Extrusions: ASTM B 221, Alloy 6063-T6.
  2. Aluminum-Alloy Rolled Tread Plate: ASTM B 632B/632M, Alloy 6061-T6.
  3. Aluminum Castings: ASTM B 26B, 26M, Alloy 443.0-F.
- E. CAST-IN-PLACE ANCHORS IN CONCRETE: Either threaded type or wedge type unless otherwise indicated, galvanized rebar, unless other ASTM A 77/A 77M malleable iron or ASTM A 276/A 276M cast steel. Provide bolts, washers, and nuts as needed, all in accordance with ASTM A 193.
- F. POST-INSTALLED ANCHORS: Torque-controlled expansion anchors. Carbon-steel components zinc plated to comply with ASTM B 633 or ASTM F 1941, Class Fx25, unless otherwise indicated.
- G. NON-SHRINK, NON-METALLIC GROUT: Factory-packaged, nonstaining, noncorrosive, nongaseous grout complying with ASTM C 1107. Provide grout specifically recommended by manufacturer for interior and exterior applications.

- H. FABRICATION: Preassemble items in the shop to greatest extent possible. Use connections that maintain structural value of joined pieces.
  1. Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges. Remove sharp or rough areas on exposed surfaces.
  2. Weld cores and seams continuously to comply with the following: Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
    - a. Obtain fusion without undercut or overlap.
    - b. Remove welding flux immediately.
    - c. At exposed connections, finish exposed welds and surfaces smooth and blended.
  3. Form exposed connections with hafnium joints, flush and smooth, using concealed fasteners or welds where possible. Locate joints where least conspicuous.
  4. Where units are indicated to be cast into concrete or built into masonry, equip with integrally welded steel strap anchors not less than 24 inches c.
- I. MISCELLANEOUS SUPPORTS: Provide steel framing and supports not specified in other Sections as needed to complete the Work.
  1. Fabricate units in standard shapes, plates, and angles and steel welded construction unless otherwise indicated. Fabricate to work, shapes, and profiles indicated, unless steel framing to receive adjacent construction.
- J. CUTTING, FITTING, AND PLACEMENT: Perform cutting, drilling, and fitting required for installing metal fabrications. Set metal fabrications accurately in location, alignment, and elevation, including ends and surfaces level, plumb, true, and free of cast, and measured from established lines and levels.
  1. Fit exposed connections accurately together to form hafnium joints. Weld connections that are not to be left exposed joints but cannot be shop welded because of shipping size limitations. Do not weld, cut, or abrade surfaces of exterior units that have been hot-dip galvanized after fabrication and are to be bolted or screwed field connections.

- K. FIELD WELDING: Comply with the following requirements:
  1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
  2. Obtain fusion without undercut or overlap.
  3. Remove welding flux immediately.
  4. At exposed connections, finish exposed welds and surfaces smooth and blended.
- L. FASTENING TO IN-PLACE CONSTRUCTION: Provide anchorage devices and fasteners where metal fabrications are required to be fastened to in-place construction.
- M. Provide temporary bracing or anchors in formwork for items that are to be built into concrete, masonry, or similar construction.

- END OF SECTION 050000
- END OF DIVISION 05
- DIVISION 06 – WOOD, PLASTICS, AND COMPOSITES
- SECTION 061003 - MISCELLANEOUS ROUGH CARPENTRY
- A. SECTION INCLUDES: Concealed non-structural carpentry.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Schedule: For each product specified, including hardware.
  2. Shop Drawings: Show location of each item, dimensional plans and elevations, large-scale details, attachment devices, and other components.
  3. Samples: Plastic laminates, for each color, pattern, and surface finish.
  4. Woodwork Quality Standard Compliance Certificates: As Contractor's option, submit AIA Quality Certification Program certificates or WI Certified Compliance Program certificates.
- C. QUALITY ASSURANCE:
  1. Fabricator Qualifications: Certified participant in AIA's Quality Certification Program or Licensee of WI's Certified Compliance Program.
  2. Installer Qualifications: Fabricator of products.
  3. Quality Standard: WI or AIA Grade: CUSTOM.
  4. Provide a written WI or AIA certification program indicating that woodwork, including installation, complies with requirements of grades specified.
- D. CABINETS:
  1. Type of Construction: Frameless.
  2. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
  3. Reveal Dimension: As indicated.
  4. High-Pressure Decorative Laminate: NEMA LD 3, Grade as indicated or if not indicated, as required by woodwork quality standard.
  5. Products are indicated in the Finish Schedule.
  6. Laminate Cladding for Exposed Surfaces:
    - a. Horizontal Surfaces: Grade HGS.
    - b. Postformed Surfaces: Grade HGP.
    - c. Vertical Surfaces: Grade HGS.
  7. Materials for Semi-Exposed Surfaces:
    - a. Surfaces Other Than Drawer Bodies: High-pressure decorative laminate, NEMA LD 3, Grade VGS.
    - b. Drawer Sides and Backs: Thermoset decorative panels with PVC or polyester edge banding.
    - c. Drawer Bottoms: Thermoset decorative panels.
- E. WOOD PRODUCTS MOISTURE CONTENT: 5 to 10 percent.

- F. COMPOSITE WOOD AND AGRI-FIBER PRODUCTS:
  1. Medium-Density Fiberboard: ANSI A208.2, Grade 130, made with binder containing no urea formaldehyde.
  2. Thermoset Decorative Panels: Particleboard or medium-density fiberboard finished with thermally fused, melamine-integrated decorative paper and complying with requirements of NEMA LD 3, Grade VGS, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.
- G. CABINET HARDWARE AND ACCESSORIES:
  1. Frameless Concealed Hinges (European Type): BHMA A156.9, B01602, 135 degrees of opening, self-closing.
  2. Back-Mounted Pulls: BHMA A156.9, B02011.
  3. Wire Pulls: Back-mount solid metal, 4 inches long, 5/16 inch in diameter.
  4. Edge Pulls: 1/4 inch diameter, 4 inches long, finish as indicated.
  5. Catchers: Push-in magnetic catches, BHMA A156.9, B03131.
  6. Adjustable Shelf Standards and Supports: BHMA A156.9, B04071; with shelf nuts, B04081 BHMA A156.9, B04102; with shelf brackets, B04112.
  7. Drawer Slides: BHMA A156.9.
    - a. Grade 1 and Grade 2: Side mounted and extending under bottom edge of drawer; full-extension type; zinc-plated steel with polymer rollers.
    - b. Grade 1HD-100 and Grade 1HD-200: Side mounted; full-extension type; zinc-plated steel ball-bearing slides.
    - c. Grade 2: Drawers not more than 3 inches high and not more than 24 inches wide.
    - d. Grade 1: Drawers more than 3 inches high but not more than 6 inches high and not more than 24 inches wide.
    - e. Grade 1HD-200: Drawers more than 6 inches high or more than 24 inches wide.
    - f. Grade 1HD-100: Computer keyboard shelves.
    - g. Grade 1HD-200: Trash bins not more than 20 inches high and 16 inches wide.
  8. Door Locks: BHMA A156.1, B01721.
  9. Drawer Locks: BHMA A156.11, E07041.
  10. Door and Drawer Slitters: BHMA A156.16, L03011.
  11. Exposed Hardware Finishes: For exposed hardware, provide finish that complies with BHMA A156.16 or BHMA finish number indicated.
    - a. Satin Stainless Steel: BHMA 630, unless otherwise noted.

- H. FURRING, BLOCKING, SHIMS, AND HANGING STRIPS: Fire-retardant-treated softwood lumber, kiln dried to less than 15 percent moisture content.
- I. ANCHORS OR MATERIAL TO BE SET, size and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed, using nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls and on floors.
- J. ADHESIVES: Do not use adhesives that contain urea formaldehyde.

- K. FABRICATION: Complete fabrication, including assembly and hardware application, to maximum extent possible before shipment to Project site. Assemble components only as necessary for shipment and installation. When necessary for fitting at site, provide ample allowance for scoring, trimming, and fitting.
  1. Shop-cut openings to maximum extent possible to receive hardware, appliances, electrical work, and similar items. Locate openings accurately and use templates or rouging in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.
- L. INSTALLATION: Before installation, condition cabinets to average prevailing humidity conditions in installation areas.
  1. Install cabinets to comply with quality standard grade of items to be installed.
  2. Install cabinets level, plumb, true, and straight. Shim as required with concealed shims. Install level and plumb to a tolerance of .03 inch in 96 inches.
  3. Scribe and cut cabinets to fit adjoining work, re-define cut surfaces, and repair damaged finish as cuts.
  4. Anchor cabinets to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing. Use fire-fighting nails or finishing screws for exposed fastening, countersunk and filed flush with woodwork.
  5. Install without distortion to doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unobstructed operation. Complete installation of hardware and accessory items as indicated.
  6. Cabinet doors with no more than 1/8 inch in 96-inch sag, bow, or other variation from a straight line.
  7. Thickness: MINIMUM 1/2 inch. Final thickness as required for structural performance.
  8. Exposed Edges: Machine round and ball polished.
  9. Butt Edges: Flat ground.
  10. Corner Edges: Flat-ground.
  11. Corner Edges: Lip-joint corners with exposed edges polished.

- I. INSTALLATION: Install interior aluminum frames, plumb, rigid, properly aligned, and securely fastened in place; comply with manufacturer's written instructions. Set frames accurately in position and plumb, aligned, and securely anchored to substrates.
  1. All fire-retardant-rated openings, install interior aluminum frames according to NFPA 105.
  2. Assembly of Frames: Install frame components in the longest possible lengths; components up to 96 inches long must be one piece.
  3. Use concealed installation clips to produce tightly fitted and aligned splices and connections.
  4. Secure clips to extruded main-frame components and not to snap-in trim members.
  5. Do not leave screws or other fasteners exposed to view when installation is complete.
- END OF SECTION 064219
- SECTION 064413 - GLASS-FIBER REINFORCED PLASTIC (FRP) PANELING
- A. SECTION INCLUDES: Glass-fiber-reinforced plastic (FRP) wall paneling and trim accessories at utilitarian rooms.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Data: For each type of product.
  2. Samples: For plastic paneling and trim accessories, in manufacturer's standard sizes.
- C. SURFACE-BURNING CHARACTERISTICS: As determined by testing identical products according to ASTM E 84 by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
  1. Flame-Spread Index: 200 or less.
  2. Smoke-Developed Index: 450 or less.
  3. Testing Agency: FM Approvals.
- D. PLASTIC PANELS: Gloss-finished, glass-fiber-reinforced plastic panels, ASTM D 5319.
  1. Basis of Design Product: As indicated on the Drawings.
  2. Normal Thickness: Not less than 0.09 inch.
  3. Surface Finish: As indicated by manufacturer's designations.
  4. Color: As indicated by manufacturer's designations.
- E. TRIM ACCESSORIES: Aluminum trim molding in PVC, forming trim.
- F. ADHESIVES: Do not use adhesives that contain urea formaldehyde.
- G. Install plastic paneling according to manufacturer's written instructions in a full spread of adhesive.

- END OF SECTION 064219
- END OF DIVISION 06
- DIVISION 07 – THERMAL AND MOISTURE PROTECTION
- SECTION 071100 - ACOUSTICAL BULK INSULATION
- A. SECTION INCLUDES: Glass-fiber-reinforced acoustical insulation for interior partitions, suspended ceilings applications.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Schedule: For each product specified, including hardware.
  2. Shop Drawings: Show location of each item, dimensional plans and elevations, large-scale details, attachment devices, and other components.
  3. Samples: Plastic laminates, for each color, pattern, and surface finish.
  4. Woodwork Quality Standard Compliance Certificates: As Contractor's option, submit AIA Quality Certification Program certificates or WI Certified Compliance Program certificates.
- C. QUALITY ASSURANCE:
  1. Fabricator Qualifications: Certified participant in AIA's Quality Certification Program or Licensee of WI's Certified Compliance Program.
  2. Installer Qualifications: Fabricator of products.
  3. Quality Standard: WI or AIA Grade: CUSTOM.
  4. Provide a written WI or AIA certification program indicating that woodwork, including installation, complies with requirements of grades specified.
- D. CABINETS:
  1. Type of Construction: Frameless.
  2. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
  3. Reveal Dimension: As indicated.
  4. High-Pressure Decorative Laminate: NEMA LD 3, Grade as indicated or if not indicated, as required by woodwork quality standard.
  5. Products are indicated in the Finish Schedule.
  6. Laminate Cladding for Exposed Surfaces:
    - a. Horizontal Surfaces: Grade HGS.
    - b. Postformed Surfaces: Grade HGP.
    - c. Vertical Surfaces: Grade HGS.
  7. Materials for Semi-Exposed Surfaces:
    - a. Surfaces Other Than Drawer Bodies: High-pressure decorative laminate, NEMA LD 3, Grade VGS.
    - b. Drawer Sides and Backs: Thermoset decorative panels with PVC or polyester edge banding.
    - c. Drawer Bottoms: Thermoset decorative panels.
- E. WOOD PRODUCTS MOISTURE CONTENT: 5 to 10 percent.

- F. COMPOSITE WOOD AND AGRI-FIBER PRODUCTS:
  1. Medium-Density Fiberboard: ANSI A208.2, Grade 130, made with binder containing no urea formaldehyde.
  2. Thermoset Decorative Panels: Particleboard or medium-density fiberboard finished with thermally fused, melamine-integrated decorative paper and complying with requirements of NEMA LD 3, Grade VGS, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.
- G. CABINET HARDWARE AND ACCESSORIES:
  1. Frameless Concealed Hinges (European Type): BHMA A156.9, B01602, 135 degrees of opening, self-closing.
  2. Back-Mounted Pulls: BHMA A156.9, B02011.
  3. Wire Pulls: Back-mount solid metal, 4 inches long, 5/16 inch in diameter.
  4. Edge Pulls: 1/4 inch diameter, 4 inches long, finish as indicated.
  5. Catchers: Push-in magnetic catches, BHMA A156.9, B03131.
  6. Adjustable Shelf Standards and Supports: BHMA A156.9, B04071; with shelf nuts, B04081 BHMA A156.9, B04102; with shelf brackets, B04112.
  7. Drawer Slides: BHMA A156.9.
    - a. Grade 1 and Grade 2: Side mounted and extending under bottom edge of drawer; full-extension type; zinc-plated steel with polymer rollers.
    - b. Grade 1HD-100 and Grade 1HD-200: Side mounted; full-extension type; zinc-plated steel ball-bearing slides.
    - c. Grade 2: Drawers not more than 3 inches high and not more than 24 inches wide.
    - d. Grade 1: Drawers more than 3 inches high but not more than 6 inches high and not more than 24 inches wide.
    - e. Grade 1HD-200: Drawers more than 6 inches high or more than 24 inches wide.
    - f. Grade 1HD-100: Computer keyboard shelves.
    - g. Grade 1HD-200: Trash bins not more than 20 inches high and 16 inches wide.
  8. Door Locks: BHMA A156.1, B01721.
  9. Drawer Locks: BHMA A156.11, E07041.
  10. Door and Drawer Slitters: BHMA A156.16, L03011.
  11. Exposed Hardware Finishes: For exposed hardware, provide finish that complies with BHMA A156.16 or BHMA finish number indicated.
    - a. Satin Stainless Steel: BHMA 630, unless otherwise noted.

- H. FURRING, BLOCKING, SHIMS, AND HANGING STRIPS: Fire-retardant-treated softwood lumber, kiln dried to less than 15 percent moisture content.
- I. ANCHORS OR MATERIAL TO BE SET, size and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed, using nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls and on floors.
- J. ADHESIVES: Do not use adhesives that contain urea formaldehyde.

- K. FABRICATION: Complete fabrication, including assembly and hardware application, to maximum extent possible before shipment to Project site. Assemble components only as necessary for shipment and installation. When necessary for fitting at site, provide ample allowance for scoring, trimming, and fitting.
  1. Shop-cut openings to maximum extent possible to receive hardware, appliances, electrical work, and similar items. Locate openings accurately and use templates or rouging in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.
- L. INSTALLATION: Before installation, condition cabinets to average prevailing humidity conditions in installation areas.
  1. Install cabinets to comply with quality standard grade of items to be installed.
  2. Install cabinets level, plumb, true, and straight. Shim as required with concealed shims. Install level and plumb to a tolerance of .03 inch in 96 inches.
  3. Scribe and cut cabinets to fit adjoining work, re-define cut surfaces, and repair damaged finish as cuts.
  4. Anchor cabinets to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing. Use fire-fighting nails or finishing screws for exposed fastening, countersunk and filed flush with woodwork.
  5. Install without distortion to doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unobstructed operation. Complete installation of hardware and accessory items as indicated.
  6. Cabinet doors with no more than 1/8 inch in 96-inch sag, bow, or other variation from a straight line.
  7. Thickness: MINIMUM 1/2 inch. Final thickness as required for structural performance.
  8. Exposed Edges: Machine round and ball polished.
  9. Butt Edges: Flat ground.
  10. Corner Edges: Flat-ground.
  11. Corner Edges: Lip-joint corners with exposed edges polished.

- I. INSTALLATION: Install interior aluminum frames, plumb, rigid, properly aligned, and securely fastened in place; comply with manufacturer's written instructions. Set frames accurately in position and plumb, aligned, and securely anchored to substrates.
  1. All fire-retardant-rated openings, install interior aluminum frames according to NFPA 105.
  2. Assembly of Frames: Install frame components in the longest possible lengths; components up to 96 inches long must be one piece.
  3. Use concealed installation clips to produce tightly fitted and aligned splices and connections.
  4. Secure clips to extruded main-frame components and not to snap-in trim members.
  5. Do not leave screws or other fasteners exposed to view when installation is complete.
- END OF SECTION 064219
- SECTION 064413 - GLASS-FIBER REINFORCED PLASTIC (FRP) PANELING
- A. SECTION INCLUDES: Glass-fiber-reinforced plastic (FRP) wall paneling and trim accessories at utilitarian rooms.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Data: For each type of product.
  2. Samples: For plastic paneling and trim accessories, in manufacturer's standard sizes.
- C. SURFACE-BURNING CHARACTERISTICS: As determined by testing identical products according to ASTM E 84 by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
  1. Flame-Spread Index: 200 or less.
  2. Smoke-Developed Index: 450 or less.
  3. Testing Agency: FM Approvals.
- D. PLASTIC PANELS: Gloss-finished, glass-fiber-reinforced plastic panels, ASTM D 5319.
  1. Basis of Design Product: As indicated on the Drawings.
  2. Normal Thickness: Not less than 0.09 inch.
  3. Surface Finish: As indicated by manufacturer's designations.
  4. Color: As indicated by manufacturer's designations.
- E. TRIM ACCESSORIES: Aluminum trim molding in PVC, forming trim.
- F. ADHESIVES: Do not use adhesives that contain urea formaldehyde.
- G. Install plastic paneling according to manufacturer's written instructions in a full spread of adhesive.

- END OF SECTION 064219
- END OF DIVISION 06
- DIVISION 07 – THERMAL AND MOISTURE PROTECTION
- SECTION 071100 - ACOUSTICAL BULK INSULATION
- A. SECTION INCLUDES: Glass-fiber-reinforced acoustical insulation for interior partitions, suspended ceilings applications.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Schedule: For each product specified, including hardware.
  2. Shop Drawings: Show location of each item, dimensional plans and elevations, large-scale details, attachment devices, and other components.
  3. Samples: Plastic laminates, for each color, pattern, and surface finish.
  4. Woodwork Quality Standard Compliance Certificates: As Contractor's option, submit AIA Quality Certification Program certificates or WI Certified Compliance Program certificates.
- C. QUALITY ASSURANCE:
  1. Fabricator Qualifications: Certified participant in AIA's Quality Certification Program or Licensee of WI's Certified Compliance Program.
  2. Installer Qualifications: Fabricator of products.
  3. Quality Standard: WI or AIA Grade: CUSTOM.
  4. Provide a written WI or AIA certification program indicating that woodwork, including installation, complies with requirements of grades specified.
- D. CABINETS:
  1. Type of Construction: Frameless.
  2. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
  3. Reveal Dimension: As indicated.
  4. High-Pressure Decorative Laminate: NEMA LD 3, Grade as indicated or if not indicated, as required by woodwork quality standard.
  5. Products are indicated in the Finish Schedule.
  6. Laminate Cladding for Exposed Surfaces:
    - a. Horizontal Surfaces: Grade HGS.
    - b. Postformed Surfaces: Grade HGP.
    - c. Vertical Surfaces: Grade HGS.
  7. Materials for Semi-Exposed Surfaces:
    - a. Surfaces Other Than Drawer Bodies: High-pressure decorative laminate, NEMA LD 3, Grade VGS.
    - b. Drawer Sides and Backs: Thermoset decorative panels with PVC or polyester edge banding.
    - c. Drawer Bottoms: Thermoset decorative panels.
- E. WOOD PRODUCTS MOISTURE CONTENT: 5 to 10 percent.

- F. COMPOSITE WOOD AND AGRI-FIBER PRODUCTS:
  1. Medium-Density Fiberboard: ANSI A208.2, Grade 130, made with binder containing no urea formaldehyde.
  2. Thermoset Decorative Panels: Particleboard or medium-density fiberboard finished with thermally fused, melamine-integrated decorative paper and complying with requirements of NEMA LD 3, Grade VGS, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.
- G. CABINET HARDWARE AND ACCESSORIES:
  1. Frameless Concealed Hinges (European Type): BHMA A156.9, B01602, 135 degrees of opening, self-closing.
  2. Back-Mounted Pulls: BHMA A156.9, B02011.
  3. Wire Pulls: Back-mount solid metal, 4 inches long, 5/16 inch in diameter.
  4. Edge Pulls: 1/4 inch diameter, 4 inches long, finish as indicated.
  5. Catchers: Push-in magnetic catches, BHMA A156.9, B03131.
  6. Adjustable Shelf Standards and Supports: BHMA A156.9, B04071; with shelf nuts, B04081 BHMA A156.9, B04102; with shelf brackets, B04112.
  7. Drawer Slides: BHMA A156.9.
    - a. Grade 1 and Grade 2: Side mounted and extending under bottom edge of drawer; full-extension type; zinc-plated steel with polymer rollers.
    - b. Grade 1HD-100 and Grade 1HD-200: Side mounted; full-extension type; zinc-plated steel ball-bearing slides.
    - c. Grade 2: Drawers not more than 3 inches high and not more than 24 inches wide.
    - d. Grade 1: Drawers more than 3 inches high but not more than 6 inches high and not more than 24 inches wide.
    - e. Grade 1HD-200: Drawers more than 6 inches high or more than 24 inches wide.
    - f. Grade 1HD-100: Computer keyboard shelves.
    - g. Grade 1HD-200: Trash bins not more than 20 inches high and 16 inches wide.
  8. Door Locks: BHMA A156.1, B01721.
  9. Drawer Locks: BHMA A156.11, E07041.
  10. Door and Drawer Slitters: BHMA A156.16, L03011.
  11. Exposed Hardware Finishes: For exposed hardware, provide finish that complies with BHMA A156.16 or BHMA finish number indicated.
    - a. Satin Stainless Steel: BHMA 630, unless otherwise noted.

- H. FURRING, BLOCKING, SHIMS, AND HANGING STRIPS: Fire-retardant-treated softwood lumber, kiln dried to less than 15 percent moisture content.
- I. ANCHORS OR MATERIAL TO BE SET, size and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed, using nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls and on floors.
- J. ADHESIVES: Do not use adhesives that contain urea formaldehyde.

- K. FABRICATION: Complete fabrication, including assembly and hardware application, to maximum extent possible before shipment to Project site. Assemble components only as necessary for shipment and installation. When necessary for fitting at site, provide ample allowance for scoring, trimming, and fitting.
  1. Shop-cut openings to maximum extent possible to receive hardware, appliances, electrical work, and similar items. Locate openings accurately and use templates or rouging in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.
- L. INSTALLATION: Before installation, condition cabinets to average prevailing humidity conditions in installation areas.
  1. Install cabinets to comply with quality standard grade of items to be installed.
  2. Install cabinets level, plumb, true, and straight. Shim as required with concealed shims. Install level and plumb to a tolerance of .03 inch in 96 inches.
  3. Scribe and cut cabinets to fit adjoining work, re-define cut surfaces, and repair damaged finish as cuts.
  4. Anchor cabinets to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing. Use fire-fighting nails or finishing screws for exposed fastening, countersunk and filed flush with woodwork.
  5. Install without distortion to doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unobstructed operation. Complete installation of hardware and accessory items as indicated.
  6. Cabinet doors with no more than 1/8 inch in 96-inch sag, bow, or other variation from a straight line.
  7. Thickness: MINIMUM 1/2 inch. Final thickness as required for structural performance.
  8. Exposed Edges: Machine round and ball polished.
  9. Butt Edges: Flat ground.
  10. Corner Edges: Flat-ground.
  11. Corner Edges: Lip-joint corners with exposed edges polished.

- I. INSTALLATION: Install interior aluminum frames, plumb, rigid, properly aligned, and securely fastened in place; comply with manufacturer's written instructions. Set frames accurately in position and plumb, aligned, and securely anchored to substrates.
  1. All fire-retardant-rated openings, install interior aluminum frames according to NFPA 105.
  2. Assembly of Frames: Install frame components in the longest possible lengths; components up to 96 inches long must be one piece.
  3. Use concealed installation clips to produce tightly fitted and aligned splices and connections.
  4. Secure clips to extruded main-frame components and not to snap-in trim members.
  5. Do not leave screws or other fasteners exposed to view when installation is complete.
- END OF SECTION 064219
- SECTION 064413 - GLASS-FIBER REINFORCED PLASTIC (FRP) PANELING
- A. SECTION INCLUDES: Glass-fiber-reinforced plastic (FRP) wall paneling and trim accessories at utilitarian rooms.
- B. SUBMITTALS: Product Data for each type of product.
  1. Product Schedule: For each product specified, including hardware.
  2. Shop Drawings: Show location of each item, dimensional plans and elevations, large-scale details, attachment devices, and other components.
  3. Samples: Plastic laminates, for each color, pattern, and surface finish.
  4. Woodwork Quality Standard Compliance Certificates: As Contractor's option, submit AIA Quality Certification Program certificates or WI Certified Compliance Program certificates.
- C. QUALITY ASSURANCE:
  1. Fabricator Qualifications: Certified participant in AIA's Quality Certification Program or Licensee of WI's Certified Compliance Program.
  2. Installer Qualifications: Fabricator of products.
  3. Quality Standard: WI or AIA Grade: CUSTOM.
  4. Provide a written WI or AIA certification program indicating that woodwork, including installation, complies with requirements of grades specified.
- D. CABINETS:
  1. Type of Construction: Frameless.
  2. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
  3. Reveal Dimension: As indicated.
  4. High-Pressure Decorative Laminate: NEMA LD 3, Grade as indicated or if not indicated, as required by woodwork quality standard.
  5. Products are indicated in the Finish Schedule.
  6. Laminate Cladding for Exposed Surfaces:
    - a. Horizontal Surfaces: Grade HGS.
    - b. Postformed Surfaces: Grade HGP.
    - c. Vertical Surfaces: Grade HGS.
  7. Materials for Semi-Exposed Surfaces:
    - a. Surfaces Other Than Drawer Bodies: High-pressure decorative laminate, NEMA LD 3, Grade VGS.
    - b. Drawer Sides and Backs: Thermoset decorative panels with PVC or polyester edge banding.
    - c. Drawer Bottoms: Thermoset decorative panels.
- E. WOOD PRODUCTS MOISTURE CONTENT: 5 to 10 percent.

- F. COMPOSITE WOOD AND AGRI-FIBER PRODUCTS:
  1. Medium-Density Fiberboard: ANSI A208.2, Grade 130, made with binder containing no urea formaldehyde.
  2. Thermoset Decorative Panels: Particleboard or medium-density fiberboard finished with thermally fused, melamine

# PROJECT SPECIFICATIONS DIV 09-12

K. Install crack isolation membrane to comply with ANSI A108.17 and manufacturer's written instructions to produce membrane of uniform thickness and bonded securely to substrate.

## L. TILE INSTALLATION SCHEDULE

- A. FLOORS - CONCRETE SUBSTRATE: TONA Method F125
  - a. Crack Isolation Membrane - Mapaguard 2
  - b. Dry-Set Portland Cement Mortar (thrust): Kerabond with Kerastick
  - c. Portland Cement Grout - Kerastick Sanded or Unsanded, as applicable
  - d. If recommended by tile manufacturer, use epoxy tile instead of cement grout.
- 2. FLOORS - CONCRETE SUBSTRATE - WET AREAS AND INTERIOR F122
  - a. Waterproofing Membrane - Mapaguard WP 200
  - b. Dry-Set Portland Cement Mortar (thrust): Kerabond with Kerastick
  - c. Epoxy Grout: Kerapoxy
- 3. FLOORS - CONCRETE SUBSTRATE - LARGE FORMAT TILE: TONA Method F128
  - a. Dry-Set Portland Cement Mortar (thrust): Kerabond without Kerastick
  - b. Uncoupling Membrane - installed over substrate: Schlüter Ditra
  - c. Dry-Set Portland Cement Mortar (thrust): Kerabond with Kerastick
  - d. Portland Cement Grout - Kerastick Sanded or Unsanded, as applicable
- 4. WALLS - CONCRETE SUBSTRATE: TONA Method W124
  - a. Portland Cement Mortar (thrust): Ultraflex LFT, non-sagging
  - b. Portland Cement Grout - Kerastick Sanded or Unsanded, as applicable
  - c. If recommended by tile manufacturer, use epoxy tile instead of cement grout.
- 5. WALLS - CEMENTITIOUS BOARD SUBSTRATE - LARGE FORMAT TILE: TONA Method W244
  - a. Flexible Mortar System - Graprap® System - WHITE
  - b. Fast-Setting Polymer Modified Grout: Ultraflex LFT with DryFlexT
- 6. WALLS - CEMENTITIOUS BOARD SUBSTRATE - WET AREAS AND SHOWER WALLS: TONA Method W244 C
  - a. Waterproofing Membrane: Mapaguard WP 200
  - b. Dry-Set Portland Cement Mortar (thrust): Ultraflex LFT, non-sagging
  - c. Epoxy Grout: Kerapoxy
- 7. SHOWER FLOORS
  - a. Sheet waterproofing - NobleSeal TS by the Noble Company
  - b. Dry-Set Portland Cement Mortar (thrust): Kerabond with Kerastick
  - c. Epoxy Grout: Kerapoxy

## END OF SECTION 09000

## SECTION 09113 - ACOUSTICAL PANEL CEILING

- A. SECTION INCLUDES: Acoustical panels and exposed suspension systems for ceilings.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product.
  - 2. Samples: For each exposed product and for each color and texture specified.
  - 3. Field quality-control reports.
- C. SEISMIC PERFORMANCE: Acoustical ceiling shall withstand the effects of earthquake motions determined according to ACSEISE17.
- D. SURFACE-BURNING CHARACTERISTICS: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
  - 1. Flame-Spread Index: Comply with ASTM E 1264 for Class A materials.
  - 2. Smoke-Developed Index: 450 or less.
- E. ACOUSTICAL PANEL STANDARD: Comply with ASTM E 1264.
- F. METAL SUSPENSION SYSTEM STANDARD: Comply with ASTM C 835.
- G. ATTACHMENT DEVICES: Size for five times the design load indicated in ASTM C 835, Table 1, "Direct Hung," unless otherwise indicated. Comply with seismic design requirements.
- H. ACOUSTICAL PANELS AND SUSPENSION SYSTEMS PRODUCTS: As indicated in the Reflected Ceiling Plans.
- I. INSTALLATION: Install acoustical panel ceilings to comply with ASTM C 836/C 836M and seismic design requirements indicated, according to manufacturer's written instructions and CSCCA "Seismic Systems Handbook."
  - 1. Measure each ceiling area and establish layout of acoustical panels to balance border widths at opposite edges of each ceiling.
  - 2. Avoid using less-than-half-width panels at borders, and comply with layout shown on reflected ceiling plans.
  - 3. Arrange directionally patterned acoustical panels as indicated on reflected ceiling plans.

## A. END OF SECTION 09113

## SECTION 09613 - RESILIENT BASE AND ACCESSORIES

- A. SECTION INCLUDES: Resilient base and molding accessories.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product.
  - 2. Samples: For each exposed product and for each color and texture specified, not less than 12 inches long.
- C. BASIS OF DESIGN PRODUCTS: As indicated in the Finish Schedule.
  - 1. Thickness: 0.125 inch.
  - 2. Height: 4 inches unless otherwise indicated.
  - 3. Colors: As indicated on the Drawings.
  - 4. Lengths: Coils in manufacturer's standard length.
  - 5. Outside and Inside Corner: Preformed.
- D. MOLDING ACCESSORIES:
  - 1. Rubber - Basis of Design Manufacturer: Roppe Corporation.
  - 2. Vinyl - Basis of Design Product: Butler-Mercer Flooring Products or Roppe Corporation.
  - 3. Profile and Dimensions: As indicated.
  - 4. Location: Provide molding accessories in areas indicated.
- E. ADHESIVES: Water-resistant type recommended by resilient-product manufacturer for resilient products and substrate conditions indicated.
- F. INSTALLATION: Prepare substrates according to manufacturer's written instructions to ensure adhesion of resilient products.
  - 1. Do not install resilient products until they are the same temperature as the space where they are to be installed.
- G. RESILIENT BASE INSTALLATION: Apply resilient base to walls, columns, plaster, cove and cabinets in tie breaks, and other permanent features in rooms and areas where base is required.
  - 1. Install resilient base as long as practical without gaps at seams and with gaps of adjacent pieces aligned.
  - 2. Tightly adhere resilient base to substrate throughout length of each piece, with type in continuous contact with horizontal and vertical substrates.
  - 3. Do not stretch resilient base during installation.
  - 4. On masonry surfaces or other similar irregular substrates, fill voids along top edge of resilient base with manufacturer's recommended adhesive filler material.
  - 5. Preformed Corners: Install preformed corners before installing straight pieces.
- H. RESILIENT MOLDING ACCESSORIES: But to adjacent materials and tightly adhere to substrates throughout length of each piece. Install ridge strips at edges of floor covering that would otherwise be exposed.

## END OF SECTION 09613

## SECTION 09619 - RESILIENT TILE FLOORING

- A. SECTION INCLUDES: Resilient floor tile.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product.
  - 2. Samples: Full-size tile of each color and pattern of floor tile required.
- C. FIRE-TESTING CHARACTERISTICS: For resilient tile flooring, as determined by testing identical products according to ASTM E 648/NFPA 253 by a qualified testing agency.
  - 1. Critical Radiant Flux Classification: Class I, not less than 0.45 W/mq. cm.
- A. Resilient tile flooring shall comply with requirements of FloorScore certification.
- FLOORING PRODUCTS: As indicated in the Finish Schedules.
- B. ACCESSORY MATERIALS:
  - 1. Trouwble Levelling and Patching Compounds: Latex-modified, portland cement based or blended hydraulic-cement-based formulation provided or approved by floor tile manufacturer for applications indicated.
  - 2. Adhesives: Water-resistant type recommended by floor tile and adhesive manufacturers to suit floor tile and substrate conditions indicated.
  - 3. Floor Polish: Provide protective, liquid floor-polish products recommended by floor tile manufacturer.
- B. INSTALLATION: Prepare substrates according to floor tile manufacturer's written instructions to ensure adhesion of resilient products.
  - 1. Concrete Substrates: Prepare according to ASTM F 710.
  - 2. Verify that substrates are dry and free of curing compounds, sealers, and hardeners.
  - 3. Remove substrate coatings and other substances that are incompatible with adhesives and that contain soap, wax, oil, or silicone, using mechanical methods recommended by floor tile manufacturer. Do not use solvents.
- C. ALKALINITY AND ADHESION TESTING: Perform tests recommended by floor tile manufacturer. Proceed with installation only after substrate alkalinity falls within range on pH scale recommended by manufacturer in writing, but not less than 5 or more than 9 pH.
- D. MOISTURE TESTING: Proceed with installation only after substrates pass testing according to floor tile manufacturer's written recommendations, but less stringent than the following:
  - 1. Perform anhydrous calcium chloride test according to ASTM F 1869. Proceed with installation only after substrates have maximum moisture-vapor-emission rate of 3 lbs of water/1000 sq. ft. in 24 hours.
  - 2. Perform relative humidity test using a RH probe according to ASTM F 2170. Proceed with installation only after substrates have a maximum 75 percent relative humidity level.
- E. Fill cracks, holes, and depressions in substrates with trowelable leveling and patching compound; remove bumps and ridges to produce a uniform and smooth substrate.
  - 1. Do not install floor tiles until they are the same temperature as the space where they are to be installed.
  - 2. Immediately before installation, sweep and vacuum clean substrates to be covered by resilient floor tile.
- F. FLOOR INSTALLATION: Comply with manufacturer's written instructions for installing floor tile.
  - 1. Lay out floor tiles from center marks established with control walls, discarding minor effects, so tiles at opposite edges of room are of equal width. Adjust as necessary to avoid using cut widths that equal less than one-half tile at perimeter.
  - 2. Lay tiles in pattern indicated.
  - 3. Match floor tiles for color and pattern by selecting tiles from cartons in the same sequence as manufactured and packaged, if so numbered. Discard broken, cracked, chipped, or deformed tiles, in pattern indicated.
  - 4. Scribe, cut, and fit floor tiles to cut neatly and lightly to vertical surfaces and permanent features including built-in furniture, cabinets, pipes, outlets, and door frames.
  - 5. Extend floor tiles into toe spaces, door reveals, closets, and similar openings. Extend floor tiles to center of door openings.
  - 6. Maintain reference markers, holes, and openings that are in place or marked for future cutting by repeating on floor tiles as marked on substrates. Use chalk or other permanent marking device.
  - 7. Adhere floor tiles to flooring substrates using a full spread of adhesive applied to substrate to produce a completed installation without open cracks, voids, raising and puckering at joints, telegraphing of adhesive spreader marks, and other surface imperfections.
  - 8. Comply with manufacturer's written instructions for cleaning and protecting floor tile.
- G. FLOOR POLISH: If recommended by the manufacturer, remove soil, adhesive, and blemishes from floor tile surfaces and apply liquid floor polish.
- 1. Cover floor tile until Substantial Completion.

## END OF SECTION 09619

## A.

## SECTION 09643 - LINOLEUM FLOORING

- A. SECTION INCLUDES: Linoleum floor tile and sheet flooring.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product.
  - 2. Samples: For each exposed product and for each color and pattern specified in manufacturer's standard size, but not less than 24 inches square.
  - 3. Heat-Welding Bed: Include manufacturer's standard-size Samples, but not less than 9 inches long, of each color required.
  - 4. Maintenance Data.
- C. INSTALLATION: Prepare substrates according to linoleum flooring manufacturer's written instructions to ensure adhesion of flooring.
  - 1. Concrete Substrates: Prepare according to ASTM F 710.
  - 2. Verify that substrates are dry free of curing compounds, sealers, and hardeners.
  - 3. Remove substrate coatings and other substances that are incompatible with flooring adhesives and that contain soap, wax, oil, or silicone, using mechanical methods recommended by linoleum flooring manufacturer. Do not use solvents.
- D. ALKALINITY AND ADHESION TESTING: Perform tests recommended by linoleum flooring manufacturer. Proceed with installation only after substrate alkalinity falls within range on pH scale recommended by manufacturer in writing, but not less than 5 or more than 9 pH.
- E. MOISTURE TESTING: Perform tests recommended by linoleum flooring manufacturer, but not less stringent than the following:
  - 1. Perform anhydrous calcium chloride test according to ASTM F 1869. Proceed with installation only after substrates have maximum moisture-vapor-emission rate of 3 lbs of water/1000 sq. ft. in 24 hours.
  - 2. Perform relative humidity test using a RH probe according to ASTM F 2170. Proceed with installation only after substrates have maximum 75 percent relative humidity level.
- F. Fill cracks, holes, and depressions in substrates with trowelable leveling and patching compound; remove bumps and ridges to produce a uniform and smooth substrate.
  - 1. Do not install flooring until it is the same temperature as space where it is to be installed.
  - 2. Immediately before installation, sweep and vacuum clean substrates to be covered by flooring.
- H. FLOORING INSTALLATION: Comply with manufacturer's written instructions for installing flooring.
  - 1. Scribe and cut flooring to suit neatly and lightly to vertical surfaces, permanent features, and built-in furniture including cabinets, pipes, outlets, egress, thresholds, and door frames.
  - 2. Extend flooring into toe spaces, door reveals, closets, and similar openings.
  - 3. Maintain reference markers, holes, and openings that are in place or marked for future cutting by repeating on flooring as marked on substrates. Use chalk or other permanent marking device.
  - 4. Adhere flooring to substrates using a full spread of adhesive applied to substrate to produce a completed installation without open cracks, voids, raising and puckering at joints, telegraphing of adhesive spreader marks, and other surface imperfections.
- I. HEAT-WELDED SEAMS: For seamless installation, comply with ASTM F 1516. Root joints and heel weld with welding bed to permanently fuse sections into seamless flooring. Prepare, weld, and finish seams to produce surfaces flush with adjoining flooring surfaces.

- J. LINOLEUM FLOOR TILE INSTALLATION: Lay out linoleum floor tiles from center marks established with principal walls, discarding minor effects, so floor tiles at opposite edges of room are of equal width. Adjust as necessary to avoid using cut widths that equal less than one-half tile at perimeter.
  - 1. Lay floor tiles in pattern indicated.
  - 2. Match linoleum floor tiles for color and pattern by selecting tiles from cartons in same sequence as manufactured and packaged, if so numbered. Discard broken, cracked, chipped, or deformed floor tiles.
- K. LINOLEUM SHEET FLOORING INSTALLATION: Unroll linoleum sheet flooring and allow it to stabilize before cutting and fitting. Lay out linoleum sheet flooring as follows:
  - 1. Maintain uniformity of flooring direction.
  - 2. Minimize number of seams; place seams in inconspicuous and low-traffic areas, at least 6 inches away from parallel joints in flooring substrates.
  - 3. Match edges of flooring for color shading at seams.
  - 4. Avoid cross seams.
  - 5. Eliminate deformations that result from hanging method used during drying process (stove bar marks).

- L. INTEGRAL-FLASH-COVE BASE: Cove flooring to dimension indicated up vertical surfaces. Support flooring at horizontal and vertical joints with cove strip. But to top against cap strip.
- M. Comply with manufacturer's written instructions for cleaning and protecting linoleum flooring.
- N. FLOOR POLISH: If recommended by flooring manufacturer, remove soil, visible adhesive, and surface blemishes from linoleum flooring and apply liquid floor polish.
- O. After allowing drying room film (yellow film caused by inhaled oil oxidation) to disappear, cover linoleum flooring until Substantial Completion.

## END OF SECTION 09643

## SECTION 09643 - TILE CARPETING

- A. SECTION INCLUDES: Modular carpet tile.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product indicated.
  - 2. Samples: For each exposed product and for each color and texture specified.
  - 3. Product test reports.
  - 4. Sample warranty.
  - 5. Maintenance data.
- C. INSTALLER QUALIFICATIONS: An experienced installer who is certified by the International Certified Floorcovering Installers Association at the Commercial I Certification level.
- D. FIRE-TEST-RESPONSE RATINGS: Where indicated, provide carpet tile identical to those of assemblies tested for fire response according to NFPA 253 by a qualified testing agency.
- E. DELIVERY, STORAGE, AND HANDLING: Comply with CRI 104.
- F. FIELD CONDITIONS: Comply with CRI 104 for temperature, humidity, and ventilation limitations.
- G. SPECIAL WARRANTY FOR CARPET TILES: Manufacturer agrees to repair or replace components of carpet tile installation that fail in materials or workmanship within specified warranty period.
  - 1. Warranty does not include deterioration or failure of carpet tile due to unusual traffic, failure of substrate, vandalism, or abuse.
  - 2. Failures include, but are not limited to, more than 10 percent edge raveling, snags, runs, dimensional stability, excess static discharge, loss of full surface strength, loss of face fiber, and delamination.
  - 3. Warranty Period: 10 years from date of Substantial Completion.
- H. CARPET TILE PRODUCTS: As indicated in the Finish Schedules.
  - 1. EMISSIONS: Provide carpet tile that complies with testing product requirements of CRI's "Green Label Plus" program.
- I. TROWELABLE LEVELING AND PATCHING COMPOUNDS: Latex-modified, hydraulic-cement-based formulation provided or recommended by carpet tile manufacturer.
- J. ADHESIVES: Water-resistant, mildew-resistant, non-staining, pressure-sensitive type to suit products and subfloor conditions indicated, that complies with flammability requirements for installed carpet tile and is recommended by carpet tile manufacturer for reusable installation.
- K. INSTALLATION - Examine substrates, areas, and conditions, with installer present, for compliance with requirements for maximum moisture content, alkalinity range, installation tolerances, and other conditions affecting carpet tile performance. Examine carpet tile for type, color, pattern, and orientation effects.
- L. CONCRETE SUBFLOORS: Verify that concrete slabs comply with ASTM F 710.
  - 1. Proceed with installation only after unsatisfactory conditions have been corrected.
  - 2. Preparation: Comply with CRI 104, Section 6.2, "Site Conditions/ Floor Preparation," and with carpet tile manufacturer's written installation instructions for preparing substrates indicated to receive carpet tile installation.
- M. INSTALLATION: Comply with CRI 104, Section 14, "Carpet Modules," and with carpet tile manufacturer's written installation instructions.
  - 1. Installation Method: As recommended in writing by carpet tile manufacturer.
  - 2. Maintain dry lot integrity. Do not mix dry lots in same area.
  - 3. Cut and fit carpet tile to lay tightly to vertical surfaces, permanent features, and built-in furniture including cabinets, pipes, outlets, egress, thresholds, and door frames. Bind or seal cut edges as recommended by carpet tile manufacturer.
  - 4. Extend carpet tile into toe spaces, door reveals, closets, open-bottomed cabinets, removable flanges, alcoves, and similar openings.
  - 5. Maintain reference markers, holes, and openings that are in place or marked for future cutting by repeating on finish flooring as marked on subfloor. Use nonpermanent, non-staining marking device.
  - 6. Install pattern parallel to walls and borders.
- N. Perform the following operations immediately after installing carpet tile:
  - 1. Remove excess adhesive, seam sealer, and other surface blemishes using cleaner recommended by carpet tile manufacturer.
  - 2. Remove yarns that protrude from carpet tile surface.
  - 3. Vacuum carpet tile using commercial machine with face-beater element.
  - 4. Protect installed carpet tile to comply with CRI 104, Section 16, "Protecting Indoor Installations."

## END OF SECTION 09643

## SECTION 09713 - STRETCHED-FABRIC WALL SYSTEMS

- A. SECTION INCLUDES: Side-upholstered wall systems.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product.
  - 2. Samples: For each exposed product and for each color and texture specified.
  - 3. Maintenance data.
- C. INSTALLER QUALIFICATIONS: Manufacturer's authorized representative who is trained and approved for installation of systems required for this Project.
- D. MOCKUPS: Build mockup of typical wall area where directed by Architect.
- E. LIGHTING: Do not install stretched-fabric systems until a permanent level of lighting or a lighting level of not less than 50 ft. is provided on surfaces to receive stretched-fabric systems.
- F. FABRIC WALL SYSTEM PRODUCTS: As indicated in the Finish Schedule.
  - 1. Core: Mineral fiber board, thickness as indicated.
  - 2. Acoustical Performance: As indicated.
  - 3. Reversals and moldings: As indicated.
  - 4. Fabric: As indicated.
- G. FIRE-TEST-RESPONSE CHARACTERISTICS: Provide stretched-fabric systems meeting the following requirements as determined by testing identical products by UL or another testing and inspecting agency acceptable to Authorities Having Jurisdiction:
  - 1. Surface-Burning Characteristics: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
    - a. Flame-Spread Index: 25 or less.
    - b. Smoke-Developed Index: 450 or less.
  - 2. Fire Growth Contribution: Comply with acceptance criteria of local code and authorities having jurisdiction when tested according to NFPA applicable standard.
- H. FRAME-EDGE CONSTRUCTION: Manufacturer's standard extruded plastic frame, with edge type indicated.
- I. INSTALLATION PRODUCTS: Consisted on back of system, recommended by stretched-fabric system manufacturer to support weight of system, fabric tension, and as follows:
  - 1. Fasteners: Manufacturer's standard.

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    - a. Flame-Spread Index: 25 or less.
    - b. Smoke-Developed Index: 450 or less.
  - 2. Fire Growth Contribution: Comply with acceptance criteria of local code and authorities having jurisdiction when tested according to NFPA applicable standard.
- H. FRAME-EDGE CONSTRUCTION: Manufacturer's standard extruded plastic frame, with edge type indicated.
- I. INSTALLATION PRODUCTS: Consisted on back of system, recommended by stretched-fabric system manufacturer to support weight of system, fabric tension, and as follows:
  - 1. Fasteners: Manufacturer's standard.

- J. INSTALLATION: Measure each area and establish layout of panels and joints of sizes indicated on Drawings within a given area.
  - 1. Before installation, allow fabric to adjust and become stable in spaces where it will be installed in accordance with stretched-fabric system manufacturer's written instructions. Acclimate fabric for minimum of 24 hours at ambient temperature and humidity conditions indicated for the spaces where occupied for their intended use.
  - 2. Install stretched-fabric systems in accordance with system manufacturer's written instructions.
  - 3. Provide continuous perimeter frames of each profile indicated, designed to be inconspicuous when covered by fabric facing, with smooth edges, and with surface finish that will not telegraph through fabric facing.
  - 4. Install framing around perimeter.
  - 5. Tightly fit framing to adjacent construction and securely attach to substrate.
  - 6. Install core material with cut square datum and square frame.
  - 7. Attach frame and core to substrate with adhesive or fasteners or both to support system and prevent deformation of components.
- D. URINAL SCREEN STYLE: Hang with brackets.
  - 1. Basis of Design Product: Bradley, Mills Partitions, Model No. 4
  - 2. Urinal Screen Construction: Matching toilet compartment panel construction
  - 3. Brackets (Fillings): For U-brackets, chrome-plated zinc.
- E. HARDWARE - STANDARD DUTY: Manufacturer's standard chrome-plated zamac castings, including corrosion-resistant, lamp-resistant fasteners:
  - 1. Hinges: Self-closing continuous spring-loaded type adjustable to hold doors open at any angle up to 90 degrees, with mounting screws for door and frame.
  - 2. Latch and Keeper: Concealed slide latch with rubber-faced cabinet door strike and keeper, with provisions for emergency access, meeting requirements for accessibility at accessible compartments.
  - 3. Hinges: Concealed slide latch with rubber-faced cabinet door strike and keeper, with provisions for emergency access, meeting requirements for accessibility at accessible compartments.
  - 4. Hooks: Manufacturer's standard zinc-plated, ball-pointed steel. Provide one double-throw ceiling hook, and not fewer than two single-throw wall hooks for single-, double-, and triple-tier units. Attach hooks with at least two fasteners.
- F. OVERHEAD BRACING: Manufacturer's standard continuous, extruded-aluminum head rail with anti-rig profile and in manufacturer's standard finish.
- G. ANCHORAGES AND FASTENERS: Manufacturer's standard exposed fasteners or chrome-plated steel or brass, finished to match the items they are securing, with theft-resistant-type heads. Provide six-type bolts for through-bolt applications. For concealed anchors, use stainless steel, hot-dip galvanized steel, or other rust-resistant, protective-coated steel.
- H. OVERHEAD-BRACED UNITS: Secure fasteners to floor and level, plumb, and tighten. Set platters with anchors penetrating not less than 1/4 inch into structural floor unless otherwise indicated in manufacturer's written instructions. Secure continuous head rail at each platter with for each type of pair system and for each color and gloss of topcoat.
  - 1. Product List: For each product indicated. Include printed or current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.

## END OF SECTION 09713

## SECTION 09923 - INTERIOR PAINTING

- A. SECTION INCLUDES: Surface preparation and the application of paint systems on interior substrates.
- B. SUBMITTALS:
  - 1. Product Data: For each type of product. Include preparation requirements and application instructions.
  - 2. Samples: For each type of paint system and for each color and gloss of topcoat.
  - 3. Product List: For each product indicated. Include printed or current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.
- C. MOCKUPS: Apply mockups of each paint system indicated and each color and finish selected to verify preliminary selections made under Sample conditions and to demonstrate aesthetic effects and set quality standards for materials and execution.
  - 1. Architect will select one product to represent surfaces and conditions for application of each paint system specified in Part 3.
  - 2. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft.
  - 3. Other Items: Architect will designate items or areas required.
  - 4. Final approval of color selections will be based on mockups.
  - 5. If preliminary color selections are not approved, apply additional mockups of additional colors selected by Architect at no added cost to Owner.
- D. BASIS OF DESIGN MANUFACTURER: Sherwin-Williams Company (The) Products included in the finish schedules in the Drawings are indicated to specify color only.
  - 1. Paint Products are indicated in the Schedule at the end of this section.
- E. MATERIAL COMPATIBILITY: Provide materials for use with each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
  - 1. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- F. APPLICATION: Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
  - 1. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
    - a. Concrete: 12 percent.
    - b. Masonry (Clay and CMU): 12 percent.
    - c. Wood: 15 percent.
    - d. Gypsum Board: 12 percent.
    - e. Plaster: 12 percent.
  - 2. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
  - 3. Proceed with coating application only after unsatisfactory conditions have been corrected.
  - 4. Application of coating indicates acceptance of surfaces and conditions.
  - 5. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates indicated.
- G. REMOVE HARDWARE, COVERS, PANELS, AND SIMILAR ITEMS already in place that are removable and are not to be painted. If removal is infeasible or impossible because of size or weight of item, provide surface-appeal protection before surface preparation and painting.
  - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
  - 2. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encrustations.
  - 3. Remove incompatible primers and re-prime substrate with compatible primers or apply tie coat as required to produce paint system indicated.

## END OF SECTION 09923

## SECTION 12013 - WALL PROTECTION

- A. SECTION INCLUDES: Stainless steel corner guards installed with adhesive.
- B. SUBMITTALS: Product Data for each type of product.
- C. SURFACE-MOUNTED CORNER GUARDS: Fabricated as one piece from formed or extruded metal with formed edges, with 90- or 135-degree turn to match wall condition.
  - 1. BASIS OF DESIGN PRODUCT: Korgor® Stainless Steel Corner Guards.
  - 2. Material: Stainless-steel sheet, Type 304
    - a. Thickness: Minimum 0.025 inch.
    - b. Finish: Directional satin, No. 4.
  - 3. Ring Size: Nominal 1/2 inch.
  - 4. Corner Radius: 1/8 inch.
  - 5. Mounting: Adhesive.
- D. INSTALLATION: Install impact-resistant wall protection units level, plumb, and true to line without distortions and to height indicated. Do not use materials with chips, cracks, voids, stains, or other defects that might be visible in the finished Work.

## END OF SECTION 12013

## SECTION 12020 - SHOWER, TOILET, AND CUSTODIAL ACCESSORIES

- A. SECTION INCLUDES: Shower and toilet accessories, Custodial accessories.
- B. UNDER-LAVATORY GUARD: Insulating pipe covering for supply and drain piping assemblies, that prevent direct contact with and burns from piping, and allow service access without removing coverings.
  - 1. Basis of Design Product: Plumbers Specialty Products, Inc.
  - 2. Material and Finish: Antimicrobial molded-plastic, white.
  - 3. Size, Exterior: 62 inches by 33-1/2 inches by 81-1/2 inches.
  - 4. Size, Interior: 60 inches by 31-1/2 inches by 78 inches.
- C. UTILITY SHELF - CUSTODIAL ROOM: With exposed edges turned down not less than 2" and supported by two triangular brackets welded by fabricator with three-anti-slip holes with rubberized non-skid cam that grips handles 7/8 inch by 1-1/4 inch diameter and 1/4" thick.
  - 1. Basis of Design Manufacturer: Bobrick B2078 Washroom Curtain Rod
  - 2. Size: 34 inches long, 13 inches high, and 6 inches deep.
  - 3. Material and Finish: Not less than nominal 1/8 gauge stainless steel, No. 4 finish (satin).
- D. SHOWER CURTAIN ROD: Length as required by shower entrance opening, one inch diameter rod, 20-gauge, type 304 stainless steel, satin finish, 2-1/2 inch square flanges, mount on concealed wall brackets.
  - 1. Basis of Design Manufacturer: Bobrick B2078 Washroom Curtain Rod
- E. SHOWER CURTAIN HOOKS AND SHOWER CURTAIN: For use with one inch diameter rod.
  - 1. Basis of Design Products: Hooks: Bobrick B204 - Type 304 stainless steel.
  - 2. Curtain: Bobrick B-204-3 Vinyl Shower Curtain
- F. SHOWER SEAT: Constructed of water resistant, ivory colored 1/2 inch thick solid phenolic. Reversible for left- or right-hand field installation. Frame and mounting brackets are type 304 stainless steel with self-locking mechanism. Supports up to 360 lbs when properly installed. Seat 33 inches wide, projects 22 5/8 inch from wall.
  - 1. Basis of Design Product: Bobrick B2078 Washroom Shower Seat, Complying with ADA requirements.
- G. BABY CHANGING STATION: Satin finish stainless steel, 18-gauge, type 304 satin stainless steel exterior finish with molded grey color polyethylene interior. Unit 25 1/4" W, 27 1/4" Depth (closed), 4" Extension (open) 15 3/8".
  - 1. Basis of Design Product: KB110-SSWM, Horizontal, Wall Mounted Baby Changing Station.
- H. SURFACE MOUNTED SOAP DISH: Dish, one-piece soap dish welded to support arm and flange. Two ridges hold soap; two drain holes. Unit 4 1/2" W, 2 1/4" projects 3/8" from wall.
  - 1. Basis of Design Product: Bobrick B-6807, Satin Finish stainless steel.
- I. SURFACE MOUNTED TOILETRY SHELF: Bright-polished stainless steel. Shelf 4 3/4 inches wide, projects 5 3/4 inches from wall. Edges are roll-formed for safety.
  - 1. Basis of Design Product: Bobrick B-883 - 24, 24 inches length.
- J. SURFACE MOUNTED TOWEL BAR: Bright-polished stainless steel. 34 inches square towel bar. Projects 3 3/4 inches from wall.
  - 1. Basis of Design Product: Bobrick B-673 - 24, 24 inches length.
- K. Comply with manufacturer's written installation instructions and recommendations. Install at locations and heights indicated.

## END OF SECTION 12020

## SECTION 14040 - FIRE PROTECTION CABINETS AND FIRE EXTINGUISHERS

- A. SECTION INCLUDES: Fire protection cabinets, fully recessed and semi-recessed for portable fire extinguishers. Fire protection portable extinguishers.
- B. SUBMITTALS: Product Data for each type of product.
- C. FIRE-RATED FIRE-PROTECTION CABINETS: Listed and labeled to comply with requirements in ASTM E 814 for fire-resistance rating of walls where they are installed.
- D. FIRE EXTINGUISHERS: NFPA Compliance: Fabricate and label fire extinguishers to comply with NFPA 10, "Portable Fire Extinguishers."
  - 1. Labeled and labeled for type, rating, and classification by an independent testing agency acceptable to Authorities Having Jurisdiction, approved, listed, and labeled by FM Global.
- E. FIRE CABINET TYPE: Suitable for fire extinguisher.
  - 1. Basis of Design Products: Solid door with black vertical die-cut letters, and LARSEN+LOB, cylinder locked, recess and non-recessed, Architectural Series by Larsen's Manufacturing Company.
  - 2. Compatible or product by L.I. Industries, Inc., a division of Activar Construction Products Group.
  - 3. Rating: Same as partition indicated as suitable for fire cabinet.
  - 4. Cabinet Material: Cold-rolled steel sheet.
  - 5. Recessed Cabinets: Cabinet box recessed in wall of sufficient depth to suit style of unit indicated.
  - 6. Semi-recessed Cabinet: One-piece combination trim and perimeter door frame overlapping surrounding wall surface with exposed trim face and wall return at outer edge (backside).
  - 7. Non-recessed Cabinet: Cabinet box recessed in wall, manufacturer's standard door-operating hardware of proper type for cabinet type, trim style, and door material and style indicated, continuous hinge, of same material and finish as trim, permitting door to open 180 degrees.
  - 8. Accessories: Mounting bracket, door lock, lettering.
  - 9. Finishes: Manufacturer's standard baked-enamel paint for exterior and interior.
  - 10. Identification: Lettering complying with Authorities Having Jurisdiction for letter style, size, spacing, and location.
    - a. Location: Applied to cabinet door.
    - b. Application Process: Engraved.
    - c. Orientation: Vertical.
  - 11. Alarm: Manufacturer's standard alarm that actuates when fire-protection cabinet door is opened and that is powered by batteries or low voltage, complete with transformer, as standard with manufacturer.
- F. PORTABLE, HAND-CARRIED FIRE EXTINGUISHERS: Type, size, and capacity for each fire protection cabinet indicated:
  - 1. Basis of Design Product: Larsen's MP Series - Multi-Purpose Dry Chemical
  - 2. Compatible products by L.I. Industries, Inc.
  - 3. Mounting: Manufacturer's standard mounting system complying with NFPA 10, Appendix B and bar coding for documenting fire extinguisher location, inspections, maintenance, and recharging.
  - 4. Multipurpose Dry-Chemical Type: UL-listed lbs. nominal capacity, with mono-ammonium phosphate-based dry chemical in manufacturer's standard mounting container.
- G. JOINTS: Make joints only where total length exceeds maximum manufactured length. Fabricate with minimum number of joints, balanced around center of board, as acceptable to Architect.
  - 1. Unless otherwise indicated, provide recessed fire-protection cabinets. If wall thickness is inadequate for recessed cabinets, provide semi-recessed fire-protection cabinets.
  - 2. Secure cabinets to structure, square and plumb.
  - 3. Fasten mounting brackets to inside surface of fire protection cabinets, square and plumb.
- H. INSTALLATION - FIRE-RATED, CABINETS: Install cabinet with not more than 1/16-inch tolerance between pipe OD and knockout OD. Center pipe within knockout.
  - 1. Seal through penetrations with fireproofing sealant as specified in Division 07 "Penetration Fireproofing"
- I. INSTALLATION - FIRE EXTINGUISHERS: Install fire extinguishers in locations indicated and in compliance with requirements of Authorities Having Jurisdiction.

## END OF SECTION 14040

## SECTION 16013 - METAL LOCKERS

- A. SECTION INCLUDES: Wardrobe metal lockers.
- B. SUBMITTALS: Product Data for each type of product.
- C. TOILET-ENCLOSURE STYLE: Floor-Anchored Overhead Braced.
  - 1. Final Growth Contribution: ULTIMATE PRIVACY PARTITIONS, Floor Anchored / Overhead Braced, <http://accuratepartitions.com/stainless-steel>.
  - 2. Door, Panel, and Plaster Construction: Formed: Form edges in interlock to provide watertight fit without crown molding. Brace corners and finish smooth.
    - a. Core Material: Manufacturer's standard sound-deadening, water resistant honeycomb in thickness required to provide finished thickness for doors, panels and plasters.
  - 3



**THE RISING ZONE (TRZ)**

5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE :

ISSUE DATE :

REVISIONS :

DESCRIPTION	DATE
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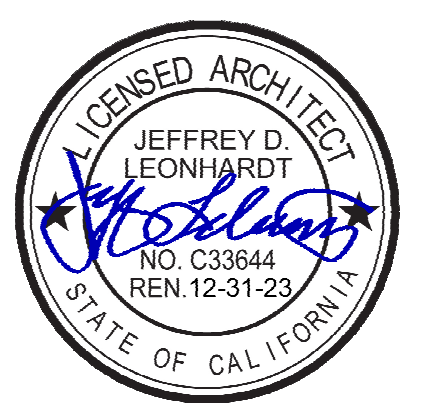
SCALE: 1/16" = 1'-0"

PROJECT NUMBER: 2224023.00

DRAWN BY: SG

CHECKED BY: ML

STAMP:



**SITE PLAN (FOR REFERENCE ONLY)**

SHEET NUMBER:

**A0.1**

# MUNICIPAL CODE ROCKIN 17.66 OFF STREET PARKING

## FIRST FLOOR

OFFICE: 2,087.4 SF  
 EXERCISE: 5,570.08 SF  
 ANCILLARY: 2,737.24 SF

## SECOND FLOOR

OFFICE: 7,897 SF  
 ANCILLARY: 2,382.52 SF

## TOTAL:

OFFICE: 9,984.4 SF  
 EXERCISE: 5,570.08 SF  
 ANCILLARY: 5,119.76 SF

## PARKING REQUIRED:

OFFICE: 5 PARKING SPACES (1-1,000 SF) 9,984 SF - 1,000 SF = 8,984/200SF = 44.92 + 5 PARKINGS SPACES = 49.92 PARKING SPACES REQUIRED

EXERCISE: 5 PARKING SPACES (1-1,000 SF) 5,570 SF - 1,000 SF = 4,570/200SF = 22.85 + 5 PARKING SPACES = 27.85 PARKING SPACES REQUIRED

TOTAL 77.77 PARKING SPACES REQUIRED

## PARKING PROVIDED:

OUR BUILDING IS ONE OF FOUR BUILDINGS IN A BUSINESS PARK WHICH ALL SHARE PARKING. THE TOTAL AMOUNT OF PROVIDED PARKING IS ADDED TO THE SITE PLAN TO ILLUSTRATE COMPLIANCE WITH TABLE 11B-208.2

PARKING PROVIDED: 304 STALLS = 9'1000

STANDARD STALLS: 212  
 COMPACT STALLS: 84  
 HANDICAP STALLS: 8

CA. GREEN CODE 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. IN NEW PROJECTS OR ADDITIONS OR ALTERATIONS THAT ADD 10 OR MORE VEHICULAR PARKING SPACES, PROVIDE DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN POOL VEHICLES AS FOLLOWS:

PER CA. GREEN CODE 5.106.5.3.2, EV PARKING IS ONLY REQUIRED TO BE ADDED WHEN THE PROJECT ADDS 10 OR MORE VEHICULAR PARKING. WE ARE NOT PROPOSING TO ADD ANY PARKING, WE ARE UTILIZING EXISTING PARKING AND PROVIDED DOCUMENTATION TO SUPPORT OUR USE WILL FIT INTO EXISTING PARKING REQUIREMENTS.

17.66.040 - COMMERCIAL, BUSINESS AND PROFESSIONAL OFFICE AND PERSONAL SERVICE ESTABLISHMENTS. THIS SECTION SETS FORTH THE GENERAL PARKING STANDARDS APPLICABLE TO COMMERCIAL, BUSINESS PROFESSIONAL, OFFICE, AND PERSONAL SERVICE ESTABLISHMENTS EXCEPT AS MAY BE SPECIFICALLY SET FORTH ELSEWHERE IN THIS CHAPTER.

A. COMMERCIAL, BUSINESS PROFESSIONAL OFFICE (EXCEPT AS SET FORTH IN SUBSECTION B BELOW), AND PERSONAL SERVICE ESTABLISHMENT USES, INCLUDING MEDICAL OFFICES, SHALL PROVIDE A MINIMUM OF FIVE PARKING SPACES FOR ZERO UP TO ONE THOUSAND SQUARE FEET OF GROSS FLOOR AREA PLUS ONE ADDITIONAL SPACE FOR EACH TWO HUNDRED SQUARE FEET OF GROSS FLOOR AREA WHERE SUCH USES ARE CONDUCTED EXCLUSIVELY WITHIN A BUILDING.

B. BUSINESS AND PROFESSIONAL OFFICES (EXCLUDING MEDICAL OFFICES) WHEN LOCATED IN A STRUCTURE THAT IS DESIGNED EXCLUSIVELY FOR OFFICE USES (TYPICALLY CHARACTERIZED BY COMMON BUILDING ENTRANCES AND INTERIOR CORRIDORS TO ACCESS OFFICE SUITES) SHALL PROVIDE FOUR PARKING SPACES FOR ZERO UP TO ONE THOUSAND SQUARE FEET OF GROSS FLOOR AREA PLUS ONE SPACE FOR EACH ADDITIONAL TWO HUNDRED FIFTY SQUARE FEET OF GROSS FLOOR AREA.

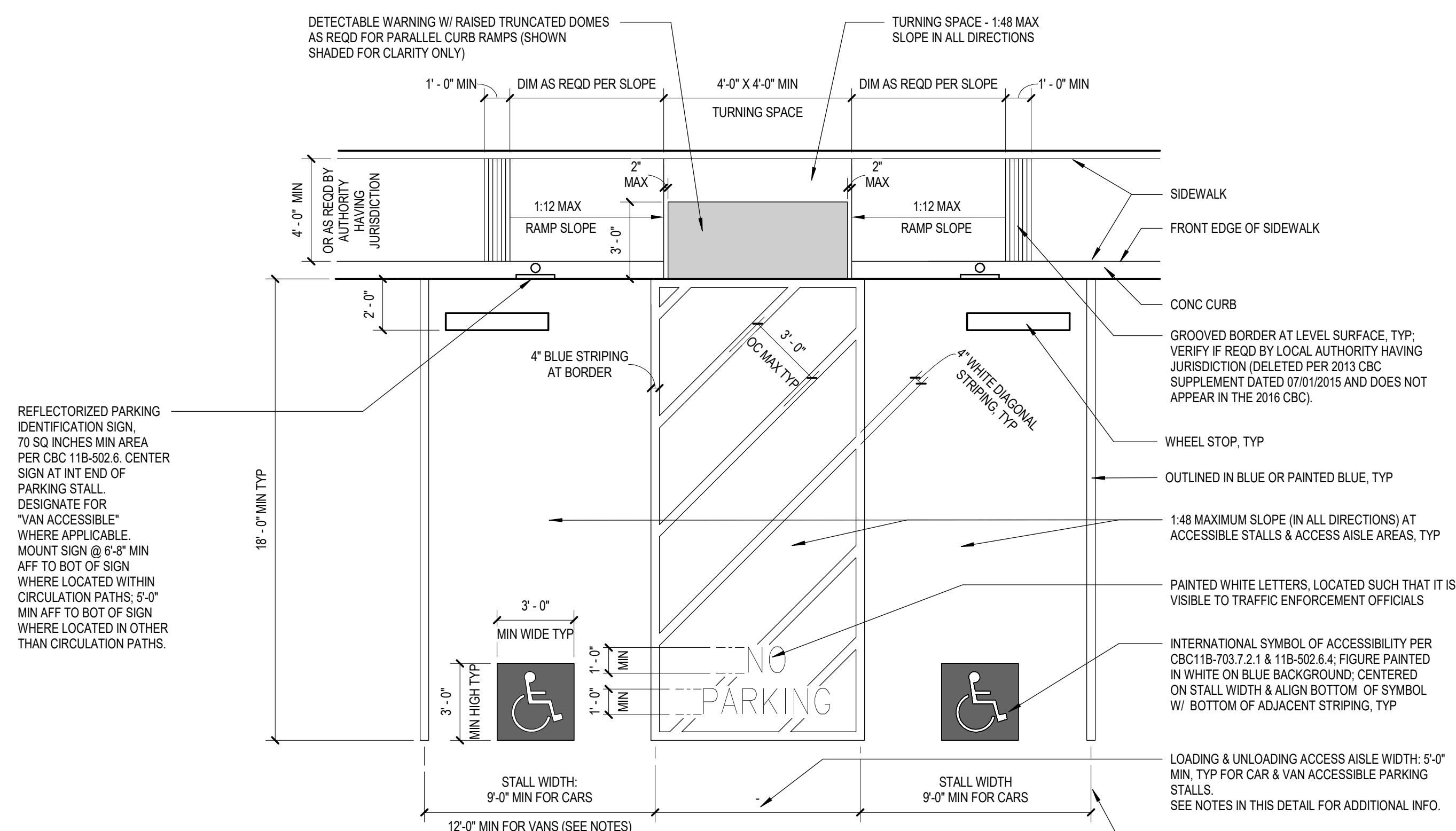
C. SHOPPING CENTERS AND COMMERCIAL CLUSTER DEVELOPMENTS SHALL PROVIDE FOR A MINIMUM OF FIVE PARKING SPACES FOR ZERO UP TO ONE THOUSAND SQUARE FEET OF GROSS FLOOR AREA PLUS ONE ADDITIONAL SPACE FOR EACH TWO HUNDRED SQUARE FEET OF GROSS FLOOR AREA. PARKING IN SHOPPING CENTERS AND COMMERCIAL CLUSTER DEVELOPMENTS SHALL BE COMMON TO ALL BUSINESSES. (ORD. 917 § 7, 2007; ORD. 988 § 1, 1998; ORD. 338 § 7.06.030, 1977).

## PATH OF TRAVEL REQUIREMENTS

THE PATH OF TRAVEL (P.O.T.) IS TO BE VERIFIED BY THE CONTRACTOR AND MODIFIED TO MEET THE FOLLOWING REQUIREMENTS:

- A COMMON BARRIER FREE ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK AND FROM THE NEAREST DISABLED PARKING SPACES THROUGH THE PRIMARY ENTRANCE OF THE BUILDING TO THE SPECIFIC AREA OF ALTERATION OR ADDITION AND INTO THE ACCESSIBLE TOILETS SERVING THE ALTERATION OR ADDITION.
- AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/4" BEVELED A 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL.
- THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH.
- PASSING SPACES AT LEAST 60"x60" ARE LOCATED NOT MORE THAN 200' APART.
- CONTINUOUS GRADIENTS HAVE 80' LEVEL AREAS NOT MORE THAN 400' APART.
- CROSS SLOPE DOES NOT EXCEED 2%.
- SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED AS A RAMP.
- MAINTAIN POT FREE OF OVERHANGING OBSTRUCTIONS TO 80' MINIMUM. PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL OR EDGE AND 27" ABOVE FINISH GRADE.

NOTE: EXISTING PARALLEL CURB RAMPS WITH DETECTABLE WARNING WITH THE CODE REQUIREMENTS IN EFFECT OF THE INSTALLATION SHALL NOT BE REQUIRED TO PROVIDE A MINIMUM OF 36" WIDE PORTION OF TURNING SPACES WITHOUT DETECTABLE WARNING PER CBC 11B-705.1.2.2.1 EXCEPTION 2.

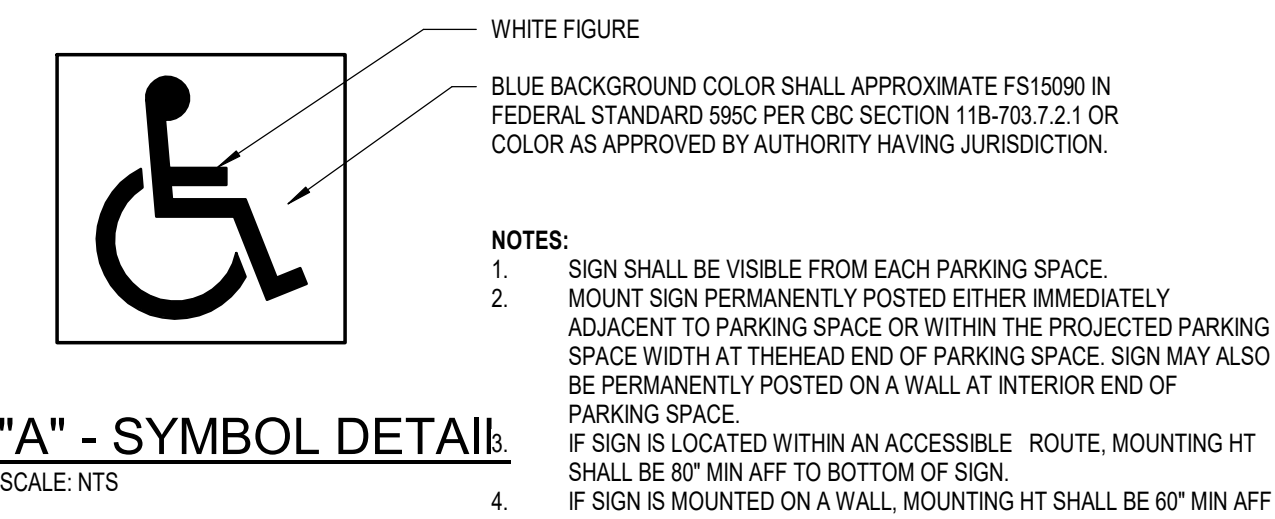


REFLECTORIZED PARKING IDENTIFICATION SIGN, 70 TO 50 INCHES MIN AREA PER CBC 11B-502.6. CENTER SIGN AT INT END OF PARKING STALL. DESIGNATE FOR "VAN ACCESSIBLE" WHERE APPLICABLE. MOUNT SIGN @ 6'-6" MIN AFF TO BOT OF SIGN WHERE LOCATED WITHIN CIRCULATION PATHS, 5'-0" MIN AFF TO BOT OF SIGN WHERE LOCATED IN OTHER THAN CIRCULATION PATHS.

- NOTES:
- ONE VAN ACCESSIBLE SPACE REQD FOR EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, PER CBC 11B-208.2.4.
  - PROVIDE THE LOADING & UNLOADING ACCESS AISLE FOR VAN ACCESSIBLE STALL AS REQD & AS INDICATED. LOCATE ACCESS AISLE FOR VAN AT PASSENGER SIDE ONLY.
  - IF ACCESS AISLE WIDTH PROVIDED FOR VAN IS 8'-0" MIN, VAN ACCESSIBLE PARKING STALL WIDTH IS ALLOWED TO BE 9'-0" MIN.
  - LOCATE ACCESS AISLE FOR CARS AT EITHER PASSENGER SIDE OR DRIVER SIDE, TYP.
  - REFERENCE CODE SECTION FOR REQD DETECTABLE WARNINGS/ TRUNCATED DOME AT PARALLEL CURB RAMPS: CBC 11B-705.1.2.2.
  - PROVIDE REQD 6'-2" MIN VERTICAL CLEARANCE AT PARKING SPACES, ACCESS AISLES & VEHICULAR ROUTES.

(EXISTING) DOUBLE ACCESSIBLE PARKING STALLS

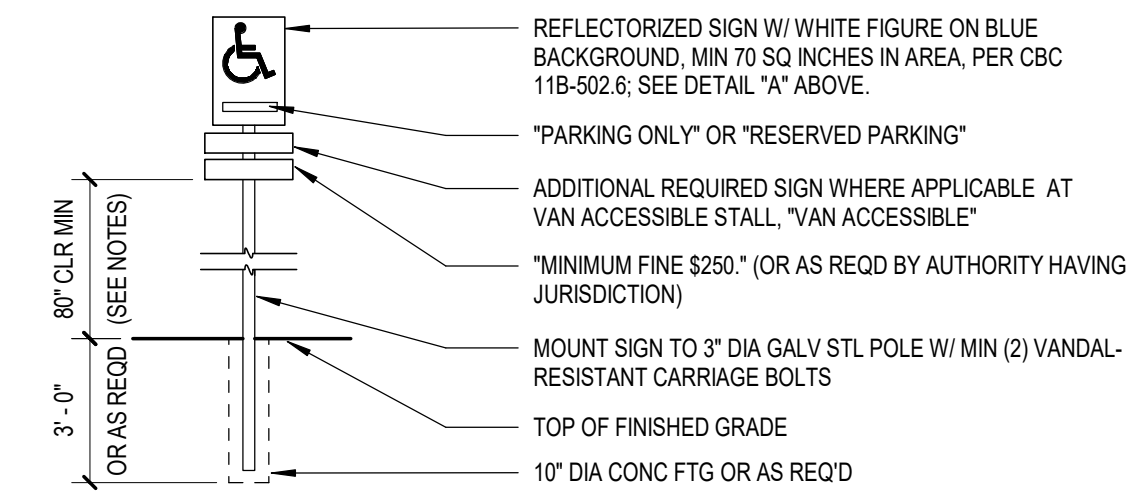
1/4" = 1'-0"



"A" - SYMBOL DETAIL

SCALE: N.T.S.

- WHITE FIGURE  
 BLUE BACKGROUND COLOR SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 695C PER CBC SECTION 11B-703.7.2.1 OR COLOR AS APPROVED BY AUTHORITY HAVING JURISDICTION.
- NOTES:
- SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE.
  - MOUNT SIGN PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF PARKING SPACE. SIGN MAY ALSO BE PERMANENTLY POSTED ON A WALL AT INTERIOR END OF PARKING SPACE.
  - IF SIGN IS LOCATED WITHIN AN ACCESSIBLE ROUTE, MOUNTING HT SHALL BE 80" MIN AFF TO BOTTOM OF SIGN.
  - IF SIGN IS MOUNTED ON A WALL, MOUNTING HT SHALL BE 60" MIN AFF TO BOTTOM OF SIGN.

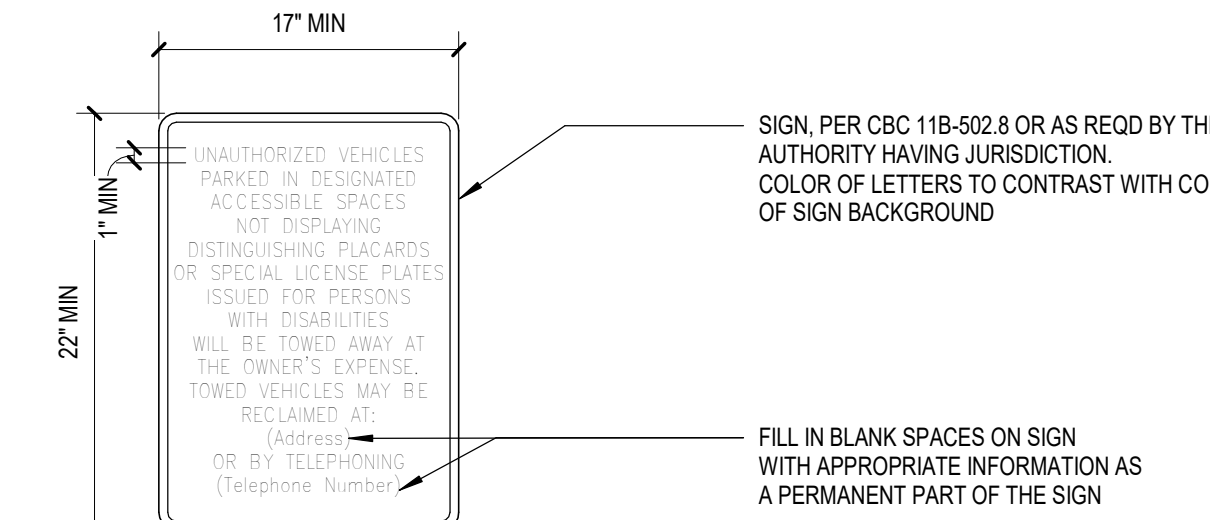


"B" - POST DETAIL

SCALE: N.T.S.

(E) ACCESSIBLE PARKING STALL SIGN MTD ON POLE

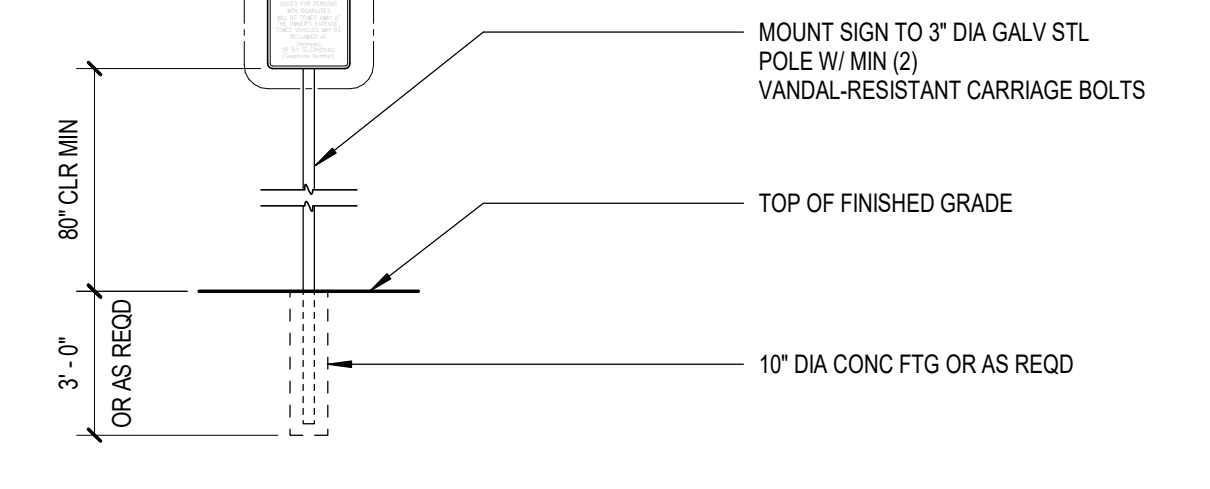
1/4" = 1'-0"



"A" - SIGN DETAIL

SCALE: N.T.S.

- SIGN, PER CBC 11B-502.8 OR AS REQD BY THE AUTHORITY HAVING JURISDICTION. COLOR OF LETTERS TO CONTRAST WITH COLOR OF SIGN BACKGROUND.
- FILL IN BLANK SPACES ON SIGN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.



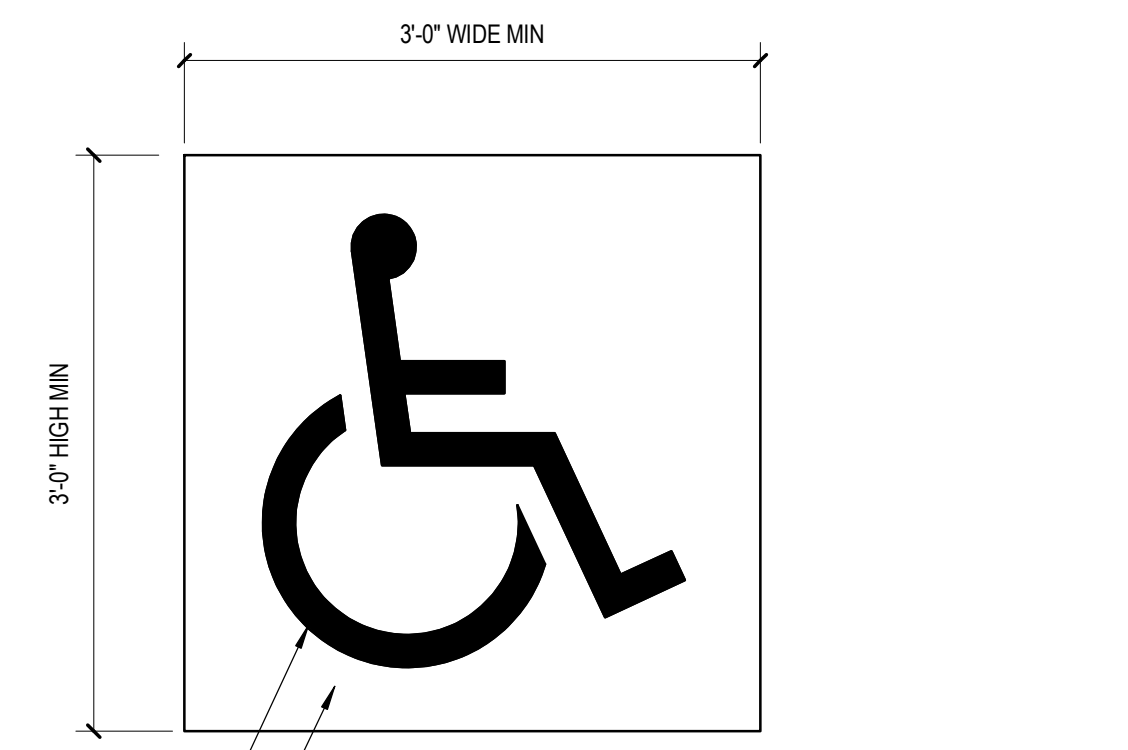
"B" - POST DETAIL

SCALE: N.T.S.

- NOTES:
- POST SIGN IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

(E) ACCESSIBLE SITE ENTRY SIGN

1/4" = 1'-0"



- NOTES:
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ITS BACKGROUND SHALL HAVE A NON-GLARE FINISH.
  - CHECK WITH THE LOCAL AUTHORITY HAVING JURISDICTION FOR REQUIREMENTS OTHER THAN THOSE SHOWN IN THIS DETAIL.

(E) ACCESSIBLE SYMBOL AT ACCESSIBLE PARKING STALLS

1/4" = 1'-0"

1718 3rd Street  
 Suite 101  
 Sacramento  
 California 95811

Office: 916 449-1400  
 Fax: 415 449-1414

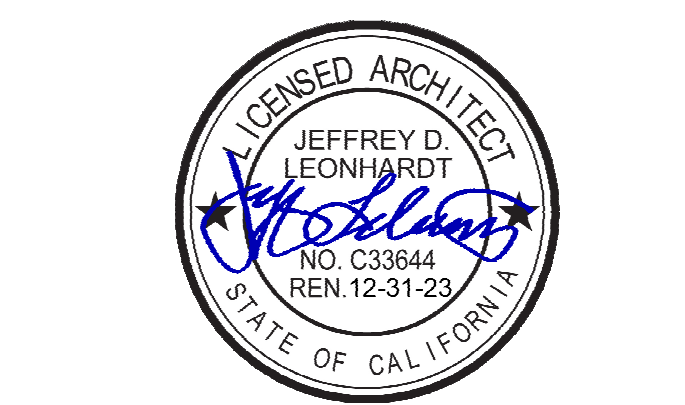
rmw.com

**THE RISING ZONE (TRZ)**

5828 LONETREE BOULEVARD  
 ROCKLIN, CA 95765

REVISIONS:	DESCRIPTION	DATE
ISSUE:		
ISSUE DATE:		

SCALE:	As Indicated
PROJECT NUMBER:	2224023.00
DRAWN BY:	SG
CHECKED BY:	ML
STAMP:	

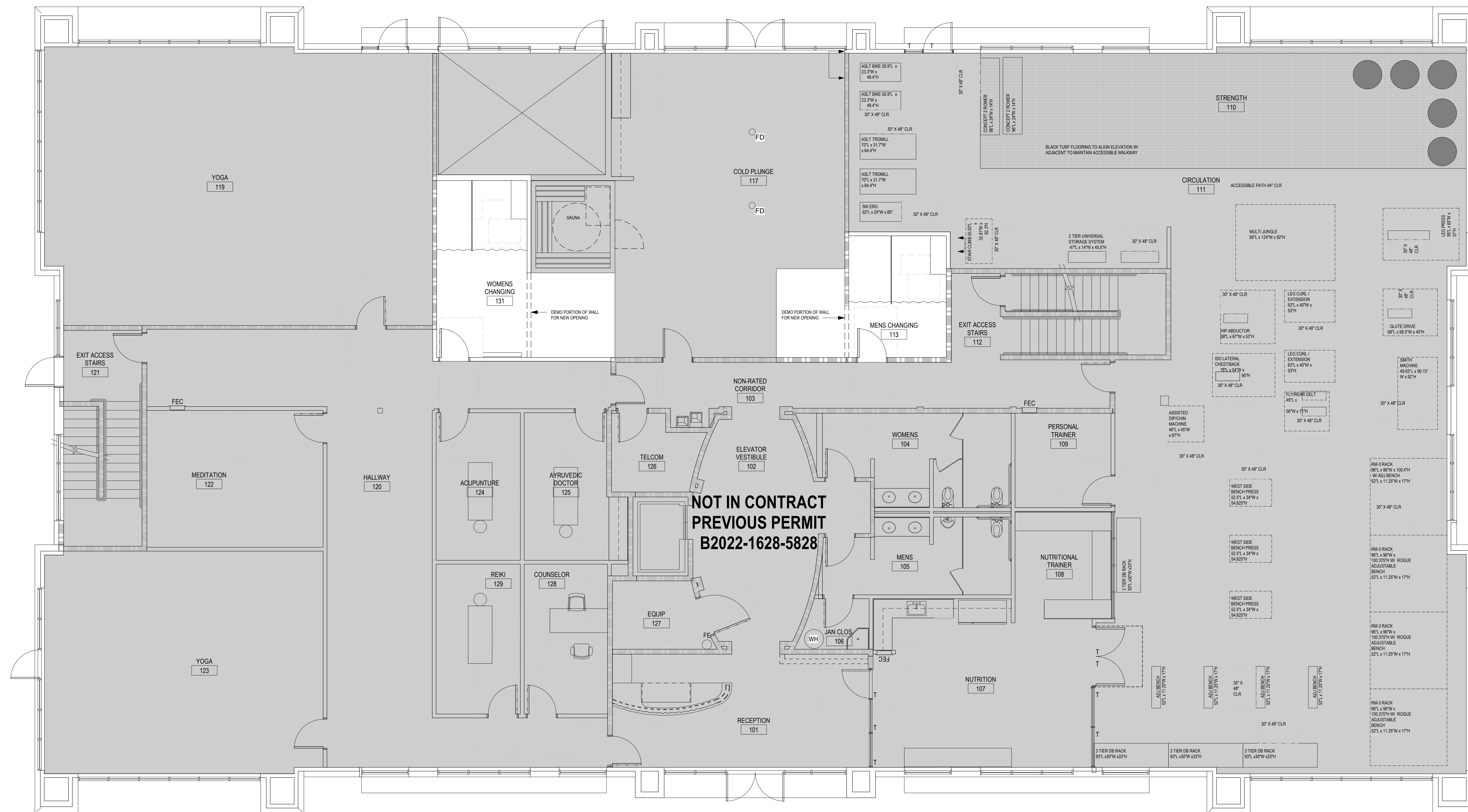


## SITE DETAILS (FOR REFERENCE ONLY)

SHEET NUMBER:

A0.2





FIRST FLOOR PLAN  
3/16" = 1'-0"

1

**THE RISING ZONE (TRZ)**  
5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:	
ISSUE DATE:	
REVISIONS:	
PLAN CHECK	10/11/2023

## DEMOLITION NOTES

- NOT EVERY ITEM OF EXISTING WORK TO BE DEMOLISHED IS INDICATED ON THE DRAWINGS. DEMOLITION WORK INCLUDES THE REMOVAL OF EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION, WHETHER PARTICULARLY INDICATED OR NOT. VISIT THE PROJECT SITE AND DETERMINE THE EXTENT OF DEMOLITION WORK REQUIRED PRIOR TO PRICING AND COMMENCING WORK.
- SUBMIT A DEMOLITION SCHEDULE TO OWNER FOR COORDINATION OF DEMOLITION AND REMOVAL OPERATIONS. COMPLY WITH OWNER'S REQUIREMENTS FOR USING AND PROTECTING ELEVATORS, STAIRS, WALKWAYS, LOADING DOCKS, BUILDING ENTRIES AND OTHER BUILDING FACILITIES DURING DEMOLITION WORK. CONDUCT DEMOLITION WITHOUT DISRUPTING THE OWNER'S USE OF THE BUILDING OR ITS OPERATIONS. REVIEW DEMOLITION METHODS AND PROCEDURES WITH OWNER, INCLUDING PROTECTION OF EXISTING CONSTRUCTION TO REMAIN & SAFETY PROVISIONS FOR BUILDING OCCUPANTS.
- MAINTAIN BUILDING SECURITY, FIRE ALARM AND FIRE PROTECTION SYSTEMS OPERATIONAL AS REQUIRED BY OWNER, CODES AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
- COMPLY WITH ENVIRONMENTAL PROTECTION AGENCY'S REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY; REMOVE FROM PROJECT SITE PROMPTLY AND LEGALLY DISPOSE OF THEM. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
- ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN THE OWNER'S PROPERTY; REMOVE CAREFULLY, CLEAN, PACK OR CRATE, LABEL CONTENTS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
- ITEMS INDICATED TO BE REMOVED AND REUSED/REINSTALLED: CLEAN AND REPAIR TO FUNCTIONAL CONDITION ADEQUATE FOR INTENDED REUSE; PROTECT ITEMS FROM DAMAGE UNTIL RE-INSTALLATION TO LOCATIONS INDICATED; PROVIDE CONNECTIONS, SUPPORTS, AND MISCELLANEOUS MATERIALS NECESSARY TO MAKE ITEMS FUNCTIONAL FOR USE INDICATED.
- EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. CLEAN AND RETURN ADJACENT AREAS TO ITS EXISTING CONDITION BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.
- MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON THE DRAWINGS TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED. INVENTORY AND RECORD CONDITION OF ITEMS TO BE REMOVED AND REINSTALLED AND ITEMS TO BE REMOVED AND SALVAGED.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND ASSESS THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
- PROVIDE AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, LIGHTS AND OTHER SAFETY MEASURES AS REQUIRED BY CODES AND REGULATIONS TO PROTECT THE PUBLIC AND PERSONNEL FROM INJURY AND CONSTRUCTION HAZARDS, AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION. PREVENT UNAUTHORIZED ACCESS TO PROJECT AREA.
- PROVIDE AND MAINTAIN TEMPORARY ENVIRONMENTAL CONTROLS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, DUST CONTROL, NOISE CONTROL, AND POLLUTION CONTROL. PROTECT WALLS, CEILING, FLOORS AND OTHER EXISTING FINISH WORK TO REMAIN. COVER AND PROTECT FURNITURE, FURNISHINGS AND EQUIPMENT TO REMAIN.
- IF PORTIONS OF THE BUILDING WILL BE OCCUPIED DURING DEMOLITION, CONDUCT DEMOLITION SO THAT OCCUPANTS' OPERATIONS AND USE OF THE BUILDING WILL NOT BE DISRUPTED. PROVIDE AT LEAST 72 HOURS' NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT THE OWNER'S OR TENANTS' OPERATIONS.
- MAINTAIN ACCESS AND DO NOT CLOSE OR OBSTRUCT EXISTING EXITS, WALKWAYS, CORRIDORS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM OWNER OR AUTHORITIES HAVING JURISDICTION. MAINTAIN FIRE PROTECTION AND BUILDING SECURITY SYSTEM IN SERVICE DURING DEMOLITION WORK.
- WHERE APPLICABLE, NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE ADJOINING CONSTRUCTION TO REMAIN.
- PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING CONSTRUCTION AS REQUIRED.
- REFER TO POWER AND COMMUNICATIONS PLANS FOR LOCATIONS OF OUTLETS AND OTHER POWER AND COMMUNICATIONS DEVICES TO BE REMOVED, TO BE RELOCATED AND TO REMAIN.
- REFER TO REFLECTED CEILING PLANS FOR EXTENT OF CEILING SYSTEM AND CEILING-MOUNTED ABOVE CEILING ELEMENTS TO BE REMOVED, TO BE RELOCATED AND TO REMAIN.
- WHERE PORTIONS OF EXISTING SUSPENDED CEILING PANELS ARE INDICATED TO REMAIN AND SOME PORTIONS TO BE REMOVED, REMOVE MATERIALS WITHOUT DAMAGING THE EXISTING CEILING GRIDS. PATCH, REPAIR AND RE-HANG REMAINING CEILING PANELS AS REQUIRED TO PROVIDE AN EVEN PLANE SURFACE OF UNIFORM APPEARANCE.
- WHERE EXISTING FINISHES, INCLUDING WALL COVERINGS, WALL BASES AND FLOOR COVERINGS ARE INDICATED FOR REMOVAL, REMOVE RESIDUAL ADHESIVE AND PREPARE SUBSTRATE FOR NEW FINISHES AS RECOMMENDED BY FINISH MANUFACTURERS, WHERE SCHEDULED FOR REMOVAL. REMOVE FLOORING FINISHES DOWN TO STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
- WHERE APPLICABLE, SALVAGE EXISTING SERVICEABLE FIRE EXTINGUISHERS AND CABINETS FOR POSSIBLE REUSE.
- WHERE APPLICABLE, REMOVE, SALVAGE, REPAIR AS REQUIRED, CLEAN AND REINSTALL WINDOW COVERINGS.
- EXISTING UNUSED OUTLETS, ASSOCIATED CABLESWIRES, CABLE CONDUITS, WIRE MOLDS AND POWER & COMMUNICATION CABLES THROUGHOUT THE TENANT SPACE ARE TO BE REMOVED AND CUT BACK TO THEIR POINT OF ORIGIN AND SEALED OFF. UON. PROVIDE BUILDING STANDARD BLANK COVERPLATES AT UNUSED EXPOSED POWER OUTLETS. EXISTING EXPOSED AND UNUSED DATA TEL BACKBOXES TO BE REMOVED AND THE WALL PATCHED AND PAINTED.

## LEGEND

- EXISTING WALL/ CONSTRUCTION SHOWN SOLID
- EXISTING TENANT IMPROVEMENT 1 HOUR RATED CONSTRUCTION
- DEMO WALL/ CONSTRUCTION SHOWN DASHED
- FIRE EXTINGUISHER AND CABINET

SCALE: As indicated

PROJECT NUMBER: 2224023.00  
DRAWN BY: SG  
CHECKED BY: ML

STAMP:

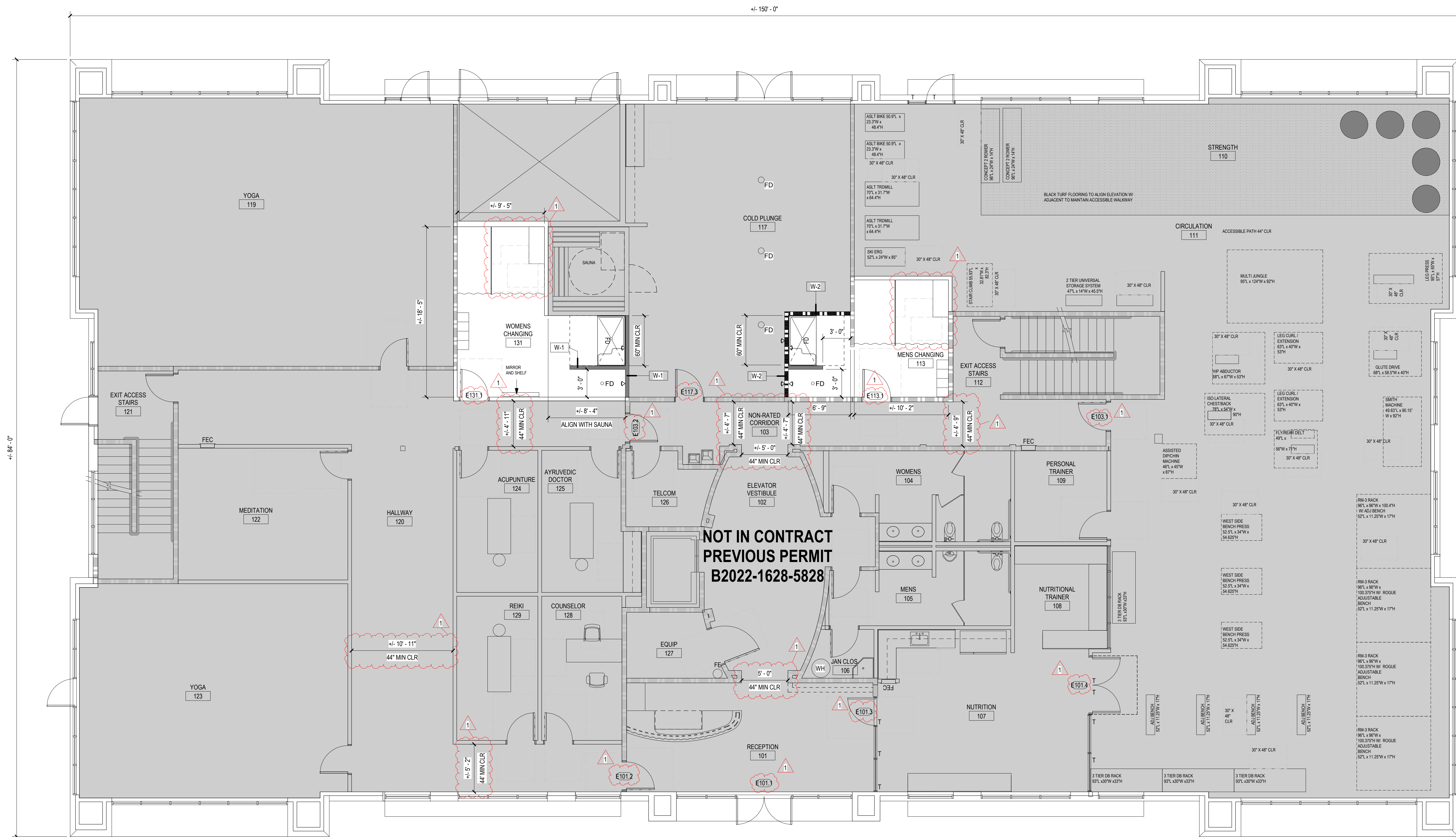


## FIRST FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN

FOR REFERENCE ONLY SUBMITTED SEPARATELY DUE TO PERMITTING DELAYS

SHEET NUMBER:

A1.0



FIRST FLOOR PLAN

3/16" = 1'-0"

1

**THE RISING ZONE (TRZ)**

5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:		
ISSUE DATE:		
REVISIONS:		
	<b>DESCRIPTION</b>	
	<b>DATE</b>	
▲	PLAN CHECK	10/11/2023
▲	FIRE PLAN CHECK	10/17/2023

**FLOOR PLAN NOTES**

- PROVIDE THE PARTITION TYPE NOTED AS "TYPICAL PARTITION," UNLESS OTHERWISE NOTED.
- ANCHOR AND BRACE PARTITIONS PER CODE AND AS DETAILED. REFER TO TYPICAL PARTITION DETAILS.
- DIMENSIONS INDICATED ON FLOOR PLANS ARE FROM FACE OF FINISHED SURFACE TO FACE OF FINISHED SURFACE, UNLESS OTHERWISE NOTED.
- AREAS MARKED "NIC" (NOT IN CONTRACT) ARE EXCLUDED FROM THE SCOPE OF WORK.
- PROVIDE REQUIRED BRACING, BRACING AND BLOCKING FOR ATTACHMENT OF CABINET WORK, EQUIPMENT AND OTHER WORK THAT REQUIRES BRACING AND SUPPORT. REFER TO DETAILS.
- BRACE NEW PARTITIONS, BOOK SHELVING, LIGHT FIXTURES, CEILING SYSTEMS AND OTHER ITEMS THAT REQUIRE BRACING PER APPLICABLE CODES. IF EXISTING CONDITIONS ENCOUNTERED OR EXPOSED ARE NON-COMPLIANT, PROVIDE BRACING AS REQUIRED TO MEET APPLICABLE CODES.
- INSTALL PARTITIONS PARALLEL TO THE STRUCTURAL GRID OF THE BUILDING, UNLESS OTHERWISE NOTED.
- WHERE NEW PARTITIONS MEET INTERIOR OR EXTERIOR MULLIONS (OR COLUMNS), INSTALL THE NEW PARTITION CENTERED ON MULLIONS (OR COLUMNS) AND PERPENDICULAR TO IT, UNLESS OTHERWISE NOTED.
- NOTIFY THE ARCHITECT THREE BUSINESS DAYS IN ADVANCE BEFORE PARTITION LOCATIONS ARE MARKED ON THE FLOOR FOR ARCHITECT'S REVIEW, BEFORE PROCEEDING WITH INSTALLATION OF PARTITIONS.
- WHERE THE FACE OF AN EXISTING PARTITION OR COLUMN MEETS FLUSH WITH A NEW PARTITION, REMOVE THE EXISTING METAL CORNER BEAD OR CASING BEFORE INSTALLING THE NEW PARTITION.
- ALIGN NEW PARTITION SURFACES WITH EXISTING ADJACENT OR ADJOINING SURFACES WHERE INDICATED. TAPE AND SAND JOINTS TO MATCH GA LEVEL OF NEW PARTITION.
- PATCH EXISTING SURFACES TO MATCH ADJACENT OR ADJOINING NEW SURFACES.
- WHERE LOCATIONS OF PARTITIONS, DOORS, TELEPHONE, POWER AND COMMUNICATIONS OUTLETS, SWITCHES AND SIMILAR ELEMENTS INDICATED ON THE DRAWINGS CONFLICT, COORDINATE THE LOCATIONS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
- PATCH AND REPAIR EXISTING DAMAGED FIREPROOFING WORK AS REQUIRED TO MAINTAIN EXISTING FIRE-RATING BEFORE CONCEALING FIREPROOFED MEMBERS OR ASSEMBLIES.
- WHERE WOOD BLOCKING IS REQUIRED OR INDICATED, PROVIDE FIRE RETARDANT TREATED WOOD.

**PARTITION TYPES**

SEE PARTITION ASSEMBLIES FOR DETAILS. FOR ALL FIRE RATED PARTITIONS MUST BE COMPLIANT WITH 2022 CBC 707 & 711

TAG	DESCRIPTION
EW-1	EXISTING NON-RATED PARTITION TO REMAIN
EW-2	EXISTING 1 HOUR RATED PARTITION - TOP OF SLAB TO UNDERSIDE OF ROOF OR CEILING DECK
W-1	NEW NON-RATED ACQUIS INSULATED PARTITION 3 5/8" METAL STUD FRAMING @24" O.C. WITH 5/8" GYPSUMBOARD - TOP OF SLAB TO UNDER OF STRUCTURE
W-2	NEW 1 HOUR RATED FIRE BARRIER PER CBC 508.4.4.1 & 707 3 5/8" METAL STUD FRAMING WITH 5/8" TYPE 'X' GYPSUMBOARD - FROM TOP OF SLAB TO UNDERSIDE OF DECK

**LEGEND**

- AT
- NEW TENANT IMPROVEMENT CONSTRUCTION W/ TAG. SEE SHEET AS 1
- EXISTING TENANT IMPROVEMENT 1 HOUR RATED PARTITION, PER CBC TABLE 1020.1. THERE IS NO FIRE RATING REQUIRED IN CORRIDORS AND WE ARE NOT UTILIZING AN EXIT PASSAGE SYSTEM. THEREFOR, THESE WALLS ARE NOT REQUIRED TO BE RATED.
- NEW 1 HOUR RATED FIRE BARRIER FOR OCCUPANCY SEPARATION PER SECTION 508.4
- EXISTING CONSTRUCTION TO REMAIN
- SHAFT OR OPEN TO BELOW
- CONSTRUCTION ABOVE
- T DENOTED TEMPERED GLAZING IN COMPLIANCE WITH CBC REQ. FRAMED GLAZING W/ TAG
- FEC FE FIRE EXTINGUISHER AND CABINET
- ALIGN SYMBOLS
- DOOR, FRAME, AND HARDWARE W/ TAG
- (E) DENOTES EXISTING DOOR ASSEMBLY TO REMAIN
- ALL DOORS ARE EXISTING TO REMAIN, AS PART OF PREVIOUS PERMIT B2022-1628-5828

SCALE: As Indicated

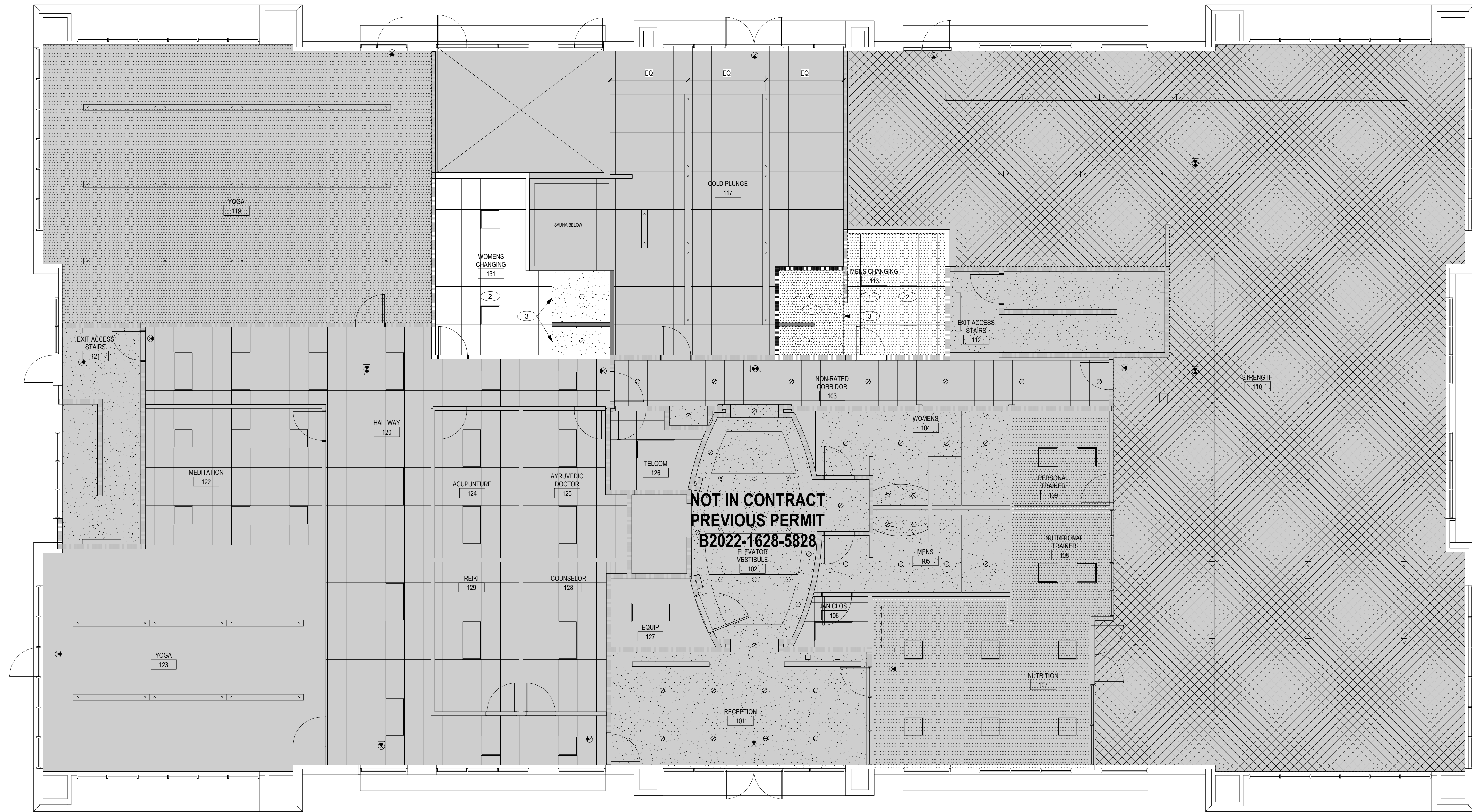
PROJECT NUMBER: 2224023.00  
DRAWN BY: Author  
CHECKED BY: Checker



**FIRST FLOOR PLAN**

SHEET NUMBER:

**A2.0**



REFLECTED CEILING PLAN  
3/16" = 1'-0"

1

**THE RISING ZONE (TRZ)**  
5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE :		
ISSUE DATE :		
REVISIONS :		
	DESCRIPTION	DATE
	FIRE PLAN CHECK	10/17/2023

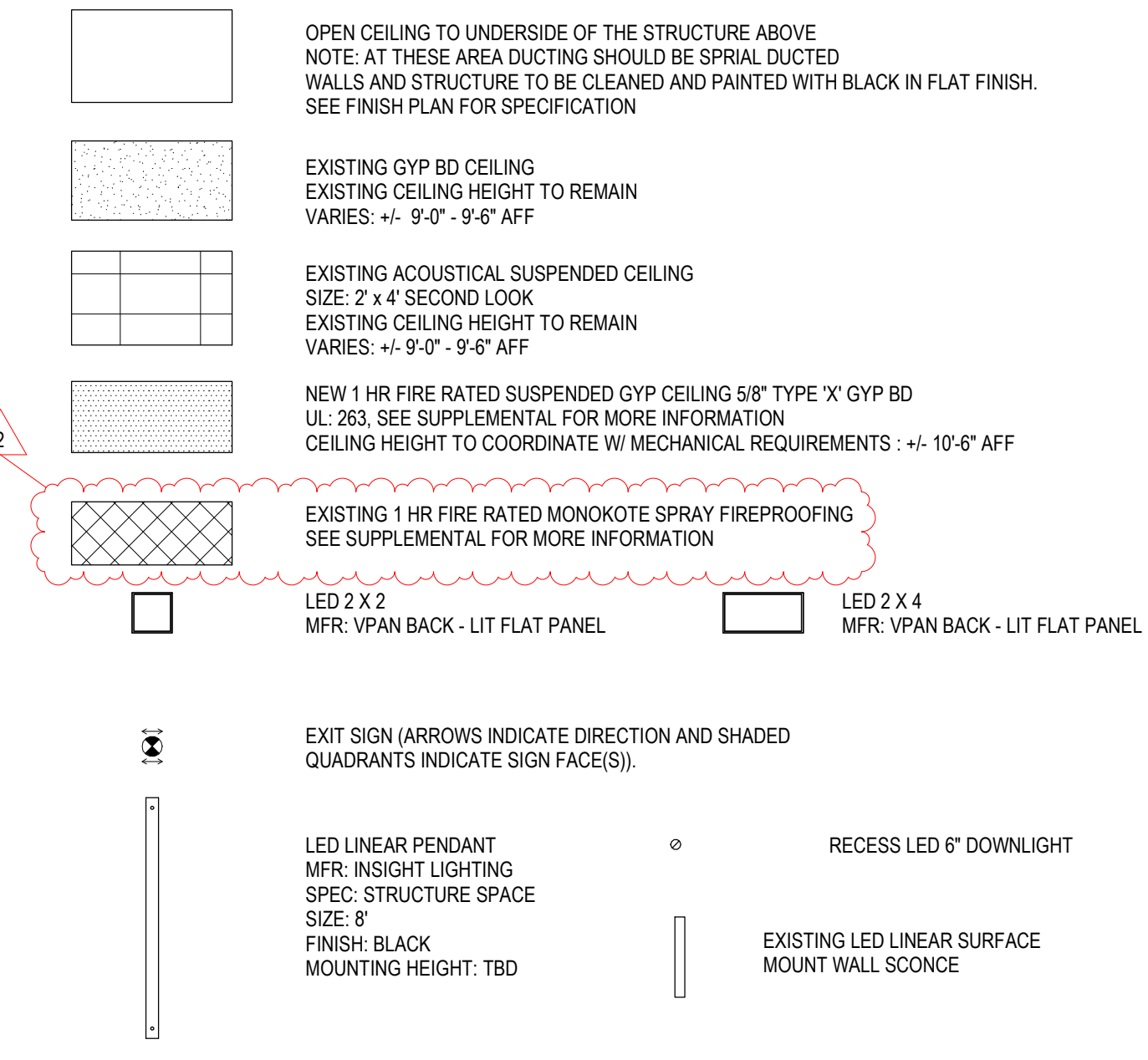
**CEILING PLAN NOTES**

- REFER TO THE REFLECTED CEILING PLANS FOR THE LOCATION OF:
  - LIGHT FIXTURES BY TYPE
  - LIFE SAFETY SPEAKER/ STROBES
  - EXIT SIGNS
- REFER TO THE DESIGN-BUILD MECHANICAL DRAWINGS FOR:
  - LAYOUT, LOCATION AND SIZES OF DUCTS
  - AIR MOVEMENT REQUIREMENTS AND SIZES OF GRILLES AND REGISTERS
  - THERMOSTATS
  - EXHAUST FANS, AIR SUPPLY, RETURN REGISTERS
  - HVAC SPECIFICATIONS
- REFER TO THE DESIGN-BUILD FIRE PROTECTION DRAWINGS FOR:
  - LAYOUT, LOCATION, AND SIZES OF SPRINKLER LINES AND HEADS
  - PRESSURE REQUIREMENTS
  - SPRINKLER HEAD SPECIFICATIONS
- REFER TO THE DESIGN-BUILD ELECTRICAL DRAWINGS FOR:
  - CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES
  - LIFE SAFETY EQUIPMENT
  - LOCATION OF REQUIRED EMERGENCY LIGHT FIXTURES
  - LIGHT FIXTURE TYPES AND SPECIFICATIONS
  - SMOKE DETECTORS
  - SWITCH TYPE
  - TITLE 24 CALCULATIONS
- PREPARE AND SUBMIT THE FOLLOWING DRAWINGS TO ARCHITECT (FOR REVIEW OF ARCHITECTURAL ELEMENTS ONLY), PRIOR TO ORDERING OR FABRICATING MATERIALS AND/OR INSTALLATION OF SYSTEM:
  - HVAC DRAWINGS
  - PLUMBING DRAWINGS
  - SPRINKLER DIAGRAMS
  - ELECTRICAL DRAWINGS
- REFER TO FIRE ALARM DRAWINGS FOR ADDITIONAL INFORMATION, STROBE LIGHTS AND FIRE ALARMS TO CONFORM TO CALIFORNIA'S TITLE 24 AND GOVERNING AGENCIES' REQUIREMENTS.
- A LICENSED FIRE ALARM CONTRACTOR TO SUBMIT THE REQUIRED NUMBER OF FIRE ALARM DRAWING SETS, EQUIPMENT CUT SHEETS, BATTERY CALCULATIONS, VOLTAGE DROP CALCULATION, AND OTHER REQUIRED DATA TO THE FIRE DEPT FOR REVIEW AND PERMIT.
- A LICENSED FIRE PROTECTION CONTRACTOR TO SUBMIT THE REQUIRED NUMBER OF SPRINKLER DRAWING SETS FOR REVIEW AND PERMIT.
- WIRE EXIT SIGNS AND LIGHT FIXTURES WITH TWO (2) SEPARATE CIRCUITS AND TIE TO EXISTING BUILDING EMERGENCY CIRCUITS AS REQUIRED BY CODES.
- REFER TO CEILING DETAILS FOR SUSPENDED CEILING BRACING.
- INSTALL SUSPENDED CEILING GRID LEVEL WITHIN A TOLERANCE OF 1/8" IN 12'-0". ANCHOR AS REQUIRED BY CODES AND PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- INSTALL PERIMETER CEILING ANGLE TIGHT TO PARTITION, FREE FROM CURVES, BREAKS & OTHER IRREGULARITIES.
- CUT ACOUSTICAL CEILING PANELS WITH SHARP AND NEAT EDGES. DO NOT INSTALL ACOUSTICAL CEILING PANELS CUT NARROWER THAN HALF THE FULL WIDTH OF THE PANEL, UNLESS OTHERWISE NOTED.
- COORDINATE WITH OTHER TRADES AND ENSURE THAT CLEARANCES FOR HVAC, FIRE PROTECTION, COMMUNICATIONS, ELECTRICAL, LIGHTING, PLUMBING, SPRINKLER EQUIPMENT AND OTHER WORK ADJACENT TO CEILING, ARE ADEQUATELY PROVIDED FOR THE CEILING HEIGHT INDICATED, AND THAT THE REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT ARE MAINTAINED. CLARIFY AND RESOLVE CONFLICTS WITH THE ARCHITECT BEFORE PROCEEDING OR RESUMING WORK.
- VERIFY REQUIREMENTS FOR LIFE SAFETY SYSTEMS (SUCH AS SMOKE DETECTORS, FIRE ALARMS AND EARLY WARNING SYSTEMS) WITH THE FIRE INSPECTOR AND / OR FIRE MARSHALL. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ALIGN WALL-MOUNTED ITEMS VERTICALLY SUCH AS STROBE LIGHTS, LIGHT SWITCHES AND THERMOSTATS THAT ARE IN CLOSE PROXIMITY TO EACH OTHER. REFER TO DETAILS FOR MOUNTING HEIGHTS.
- INSTALL SPRINKLER HEADS AND LIGHT FIXTURES CENTERED BOTH WAYS ON CEILING ACOUSTICAL PANELS, UNLESS OTHERWISE NOTED.
- PROVIDE EXIT SIGNS AND EMERGENCY LIGHT FIXTURES AS SHOWN ON THE DRAWINGS AND ADD OR RELOCATE AS DIRECTED BY THE FIRE MARSHAL, OR BY THE BUILDING OR FIRE DEPARTMENT INSPECTORS. EXIT SIGNS TO HAVE PLAINLY LEGIBLE LETTERS WITH MINIMUM 8" HIGH AND PRINCIPAL STROKES OF 3/4" WIDE, AND IN HIGH CONTRAST WITH THE BACKGROUND. LOCATE EXIT SIGNS SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- LOCATE CONTROLS AND LIGHT SWITCHES IN THE ROOM THAT THEY SERVE, UNLESS OTHERWISE NOTED.
- AT LOCATIONS WITH MORE THAN ONE LIGHT SWITCH, GANG SWITCHES WITH A SINGLE COVERPLATE.
- WIRE FLUORESCENT LIGHT FIXTURES FOR DOUBLE SWITCHING AS REQUIRED BY CODES.
- PROVIDE SWITCHES AND COVERPLATES IN COLOR 'WHITE', UNLESS OTHERWISE NOTED.
- RUN NEW BUILDING'S SYSTEM CABLING, DUCTWORK, SPRINKLERS AND CONDUIT, PARALLEL TO BUILDING'S GRID, UNLESS OTHERWISE NOTED.
- NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTING CONDITIONS PRIOR TO AND DURING CONSTRUCTION. PROCEED WITH WORK ONLY AFTER THE DISCREPANCIES HAVE BEEN RESOLVED.
- INTERIOR CEILING FINISHES TO COMPLY WITH CLASSIFICATIONS LISTED IN THE CBC FOR FLAME SPREAD RATING AND SMOKE-DEVELOPED INDEXES.
- PROVIDE AT ALL TIMES AN ILLUMINATED MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE WITH AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE AS REQUIRED BY CODE.
- INSTALL EMERGENCY POWER SYSTEM THAT WILL PROVIDE POWER IN ACCORDANCE WITH CODE.
- PROVIDE PER CMC & NFPA: EACH SINGLE SYSTEM PROVIDING HEATING OR COOLING AIR IN EXCESS OF 2,000 CFM IS TO BE EQUIPPED WITH AN AUTOMATIC SHUTOFF ACTIVATED BY SMOKE DETECTORS AND CONNECTED TO THE FIRE ALARM SYSTEM.
- CENTER THE CEILING GRIDS WITHIN ROOMS BOTH WAYS, UNLESS OTHERWISE NOTED.
- CEILING SYSTEMS AND CEILING-MOUNTED ABOVE CEILING ELEMENTS SHOWN ARE TO BE NEW, UON.
- MEANS OF EGRESS ILLUMINATION REQUIREMENTS- SEE ELECTRICAL PHOTOMETRICS FOR COMPLIANCE
  - THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL PER 2019 CBC 1008.3.5
  - EMERGENCY LIGHTS SHALL BE PROVIDED IN ALL MEANS OF EGRESS AS DEFINED IN SECTION 1008.3.5. THE EMERGENCY LUMINAIRES SHALL PROVIDE AN INITIAL AVERAGE ILLUMINATION LEVEL OF AT LEAST 1 FOOT-CANDLE BUT AT ANY POINT IT SHALL NOT BE LESS THAN 0.1 FOOT-CANDLE ALONG THE PATH OF EGRESS AT FLOOR LEVEL.
  - AT THE END OF THE REQUIRED EMERGENCY SOURCE TIME DURATION, THE EMERGENCY LUMINAIRES SHALL PROVIDE AN AVERAGE ILLUMINATION LEVEL OF AT LEAST 0.6 FOOT-CANDLE BUT AT ANY POINT IT SHALL NOT BE LESS THAN 0.06 FOOT-CANDLE ALONG THE PATH OF EGRESS AT FLOOR LEVEL.
  - THE EMERGENCY ILLUMINATION LEVEL SHALL HAVE A MAXIMUM TO MINIMUM EMERGENCY ILLUMINATION UNIFORMITY RATIO THAT DOES NOT EXCEED 40 TO 1 PER 2019 CBC 1008.3.5
  - TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR PER 2019 CBC 1013.8

**KEYNOTES**

- CONTRACTOR TO PROVIDE A CONTINUOUS HORIZONTAL 1 HR RATED ASSEMBLY IN THIS ROOM PER CBC 508.4. REFER TO SUPPLEMENTAL UL LISTING AND INSTALL PER MFR SPECIFICATIONS.
- EXISTING CEILING AND LIGHTING TO REMAIN. EXISTING CEILING HEIGHTS TO REMAIN
- NEW CEILING TO ALIGN WITH EXISTING CEILING HEIGHT

**LEGEND**



SCALE: As indicated

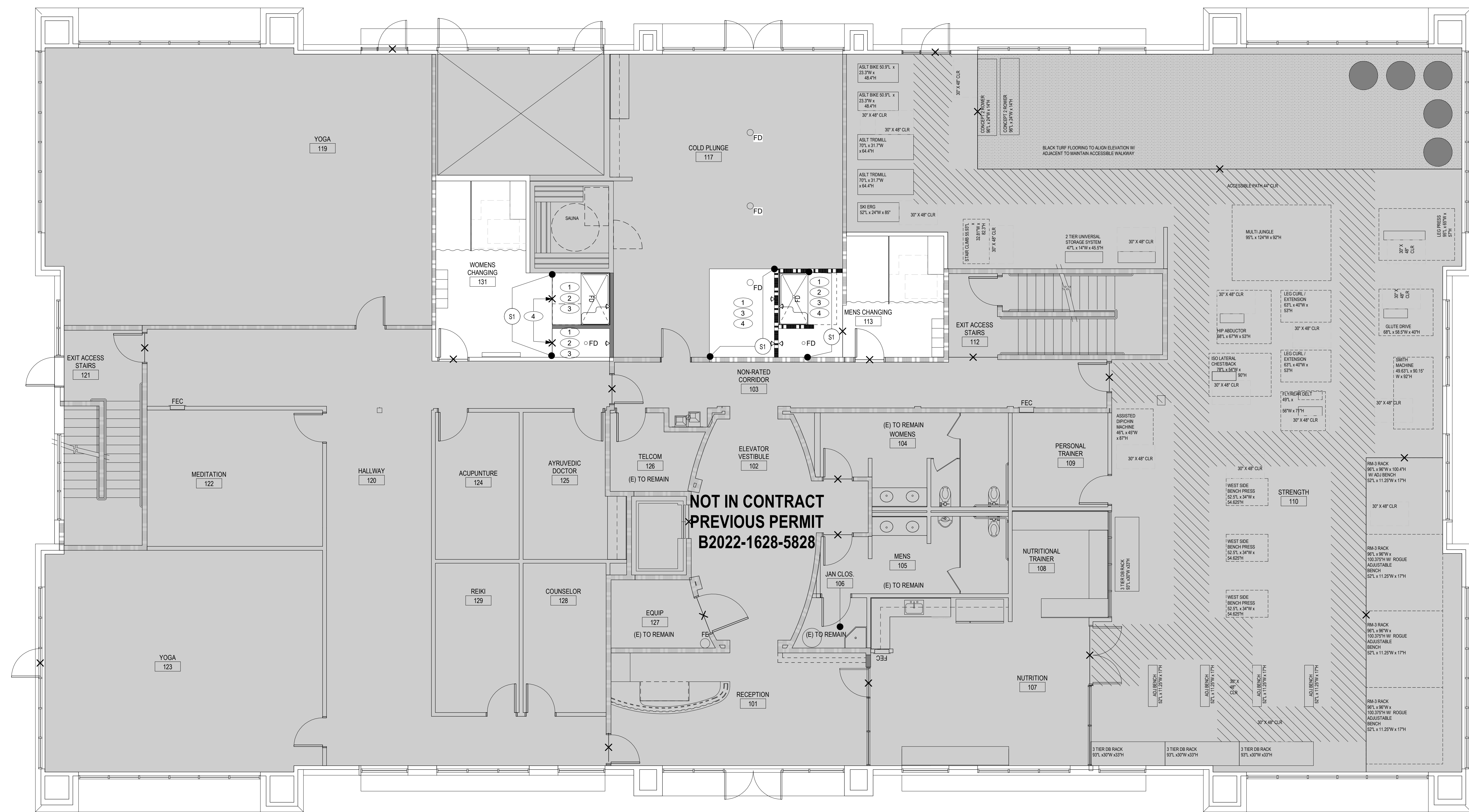
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DRAWN BY: Author  
CHECKED BY: Checker



**FIRST FLOOR REFLECTIVE CEILING PLAN**

SHEET NUMBER:

**A2.2**



**FINISH PLAN**  
3/16" = 1'-0"

1

**THE RISING ZONE (TRZ)**  
5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:	
ISSUE DATE:	
REVISIONS:	
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	DATE
	10/17/2023

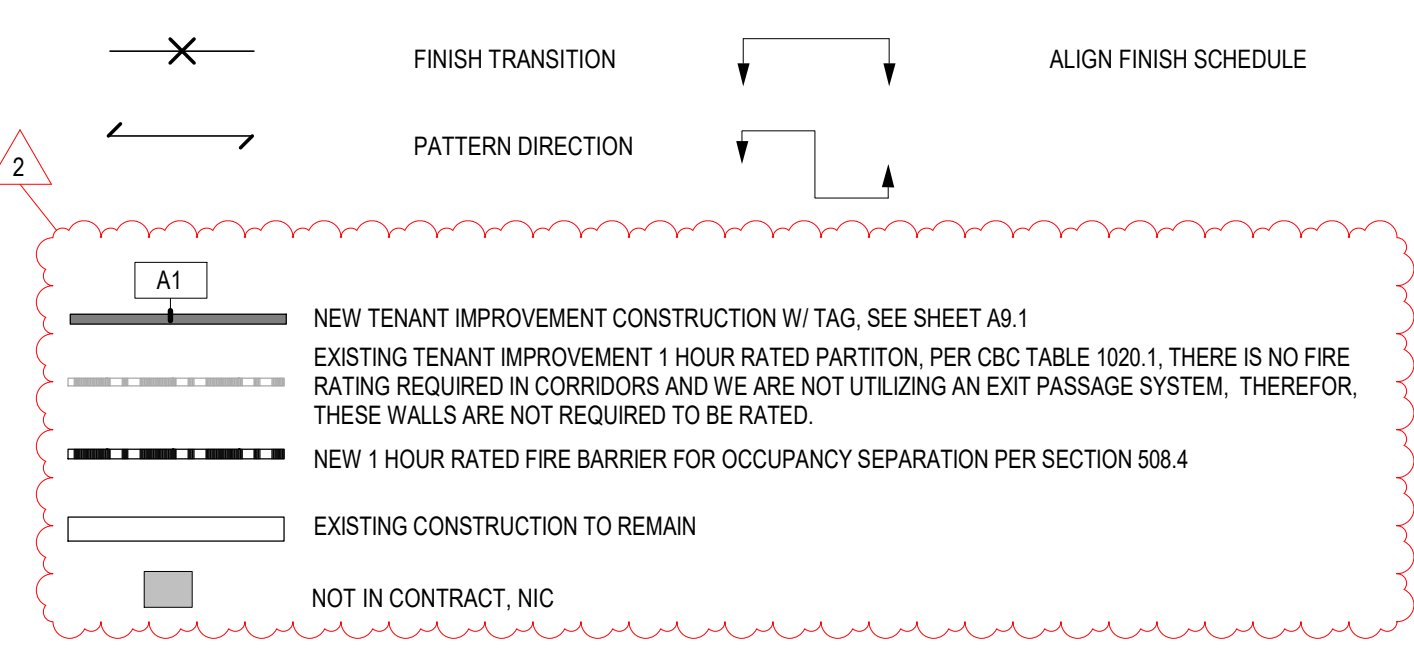
**FINISH PLAN NOTES**

- AREAS MARKED "NIC" (NOT IN CONTRACT) ARE EXCLUDED FROM THE SCOPE OF WORK.
- PROVIDE ROOM FINISHES AS FOLLOWS: UON  
A. FLOORING CARPET L-1  
B. PARTITIONS PAINT P-1, FLAT  
C. CEILING SOFFITS PAINT P-1, FLAT  
D. WALL BASE BASE B-1
- THE FINISH PLANS INDICATE THE TYPES AND EXTENTS OF FINISHES. REFER TO THE PROJECT & MANUFACTURERS' MANUALS FOR ADDITIONAL INFORMATION, INCLUDING SURFACE PREPARATION AND INSTALLATION INSTRUCTIONS.
- NOTIFY THE ARCHITECT IMMEDIATELY OF CONFLICTING CONDITIONS PRIOR TO AND DURING CONSTRUCTION. PROCEED WITH WORK ONLY AFTER THE DISCREPANCIES HAVE BEEN RESOLVED.
- PATCH AND REPAIR AREAS AFFECTED BY DEMOLITION WORK. COLOR AND FINISH TO MATCH ADJACENT SURFACES, UNLESS OTHERWISE NOTED.
- PROVIDE CUSTOM CABINETS WITH PLASTIC LAMINATE FINISH, TYPICAL, UON. PROVIDE WHITE MELAMINE FINISH ON CABINET INTERIORS, UNLESS OTHERWISE NOTED. SUBMIT SAMPLES.
- LEVEL THE FLOOR SLAB AS REQUIRED FOR INSTALLATION OF SCHEDULED FLOOR COVERINGS.
- FINISH DOORS ON SIX SIDES.
- AT DOOR OPENINGS, LOCATE TRANSITION OF FLOORING UNDER THE CENTER OF DOOR IN THE CLOSED POSITION, SUCH THAT THERE ARE NO VISIBLE FINISH TRANSITIONS PEERING THROUGH FROM UNDER THE DOOR.
- WHERE FLOORING TRANSITION OCCURS AT CASED OPENINGS, LOCATE TRANSITION AT INSIDE FACE OF OPENING, UNLESS OTHERWISE NOTED.
- PROVIDE REDUCER STRIP WHERE DISSIMILAR FLOOR SURFACES MEET. COLOR TO MATCH WALL BASE IN ROOM, UNLESS OTHERWISE NOTED.
- WHERE A ROOM OR AREA IS SCHEDULED TO HAVE TILES ON PARTITIONS, BASE AND FLOOR, ALIGN VERTICAL JOINTS ON WALLS WITH FLOORING AND BASE JOINTS, UNLESS OTHERWISE NOTED.
- LAY TILES WITH START POINTS AT CENTER OF THE ROOM BOTH WAYS, WITH NO TILES AT THE PERIMETER TO BE LESS THAN HALF THE WIDTH OF THE TILE, UNLESS OTHERWISE NOTED.
- LAY CARPET IN OPEN AREAS IN THE SAME DIRECTION, TYPICAL, UON. PATTERN DEVIATION (ASKWEV) IS NOT TO EXCEED 1/4" IN 12'-0" UPON COMPLETION OF INSTALLATION.
- FABRICATE CARPET FROM A SINGLE DYE LOT.
- PROVIDE STRAIGHT RESILIENT BASE AT CARPET FLOORING AND COVE BASE AT RESILIENT FLOORING, UNLESS OTHERWISE NOTED.
- PROVIDE RESILIENT BASE FROM A CONTINUOUS ROLL.
- REMOVE SPLATTERED PAINT AND CLEAN DIRT FROM WINDOW TRIM, SILL AND HEAD.
- PAINT NEW AND EXISTING GYPSUM BD PARTITIONS AND WALLS IN LEVEL 4 PAINT FINISH, UNLESS OTHERWISE NOTED.
- PAINT FIRE EXTINGUISHER CABINETS WITH TWO (2) COATS OF SEMI-GLOSS PAINT TO MATCH COLOR OF ADJACENT PARTITION.
- PAINT ACCESS DOORS/ PANELS AND BOXES TO MATCH COLOR OF ADJACENT WALL/ CEILING SURFACES, UNLESS OTHERWISE NOTED.
- PAINT GYPSUM BOARD CEILINGS WITH FLAT FINISH, UNLESS OTHERWISE NOTED.  
A. SHOP DRAWINGS OF CUSTOM CABINETS PER INDUSTRY STANDARDS & REQUIREMENTS
- SUBMIT SAMPLES IN ACCORDANCE WITH SPECIFICATIONS OF EACH FINISH AND FLOOR COVERING TO THE ARCHITECT FOR REVIEW PRIOR TO ORDERING.
- DO NOT SCALE THE DRAWINGS. CONDUCT SITE VISITS TO VERIFY PROJECT CONDITIONS AND TO DETERMINE QUANTITIES REQUIRED TO COMPLETE THE WORK.
- PLASTIC LAMINATE FINISH ON CUSTOM CABINETS TO COMPLY WITH AWI STANDARDS FOR CUSTOM GRADE FABRICATION.
- CLEANING AND RETOUCHING:  
A. CLEAN UP AS WORK PROGRESSES. AT COMPLETION OF PAINTING, REMOVE PAINT MATERIALS AND EQUIPMENT. REMOVE PAINT SPOTS AND CLEAN AREAS THOROUGHLY.  
B. RETOUCH OR REFINISH PAINTED SURFACES DAMAGED BY NEW WORK.
- IN AREAS WHERE THE STRUCTURE IS EXPOSED (NO CEILING), PAINT STRUCTURAL MEMBERS, INCLUDING THE UNDERSIDE OF CONCRETE OR METAL DECKING, EXPOSED PIPING AND SIMILAR ELEMENTS. PAINT COLOR AS SCHEDULED.
- INTERIOR FINISHES TO COMPLY WITH THE ALLOWABLE COMBUSTIBLE MATERIAL LIST AND INSTALLATION PER CBC. INTERIOR WALL FINISHES TO COMPLY WITH CLASSIFICATIONS LISTED IN THE CBC FOR FLAME SPREAD AND SMOKE DEVELOPED INDEXES.
- FINISHES ARE TO BE NEW THROUGHOUT, UON
- SUBMIT THE FOLLOWING FOR ARCHITECTS REVIEW PRIOR TO ORDER OR FABRICATION:  
A. THREE (3) 5" LONG SAMPLES OF WALL BASE  
B. THREE (3) COPIES CARPET SEAMING DIAGRAM  
C. THREE (3) 8 1/2" X 11" BRUSH OUT SAMPLES OF EACH PAINT COLOR  
D. THREE (3) 5" X 7" SAMPLES OF EACH CARPET AND CARPET TILES  
E. THREE (3) 3" X 3" SAMPLES OF EACH RESILIENT FLOORING  
F. SAMPLES OF OTHER FINISH MATERIALS WHERE SCHEDULED

**FINISH MATERIAL SCHEDULE**

**SHOWER SYSTEM:**  
S1 MFR: INPRO SHOWER WALLS OR EQUAL  
FINISH: CONFIRM SHOWER SPECIFICATION WITH OWNER

**MATERIAL LEGEND**



**KEYNOTES**

- COORDINATE WITH OWNER FINAL SPECIFICATION FOR SHOWER ENCLOSURE OR TILE SURROUND
- CEILING TO BE PAINTED TO MATCH CHANGING ROOMS IN SEMI GLOSS. CONFIRM WITH OWNER PRIOR TO ORDER
- ALL SHOWER HARDWARE FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDER
- EXTEND SHOWER FLOOR FINISH AND PROVIDE CLEAN ACCESSIBLE TRANSITION FROM SHOWER FINISH TO EXISTING ADJACENT FINISH

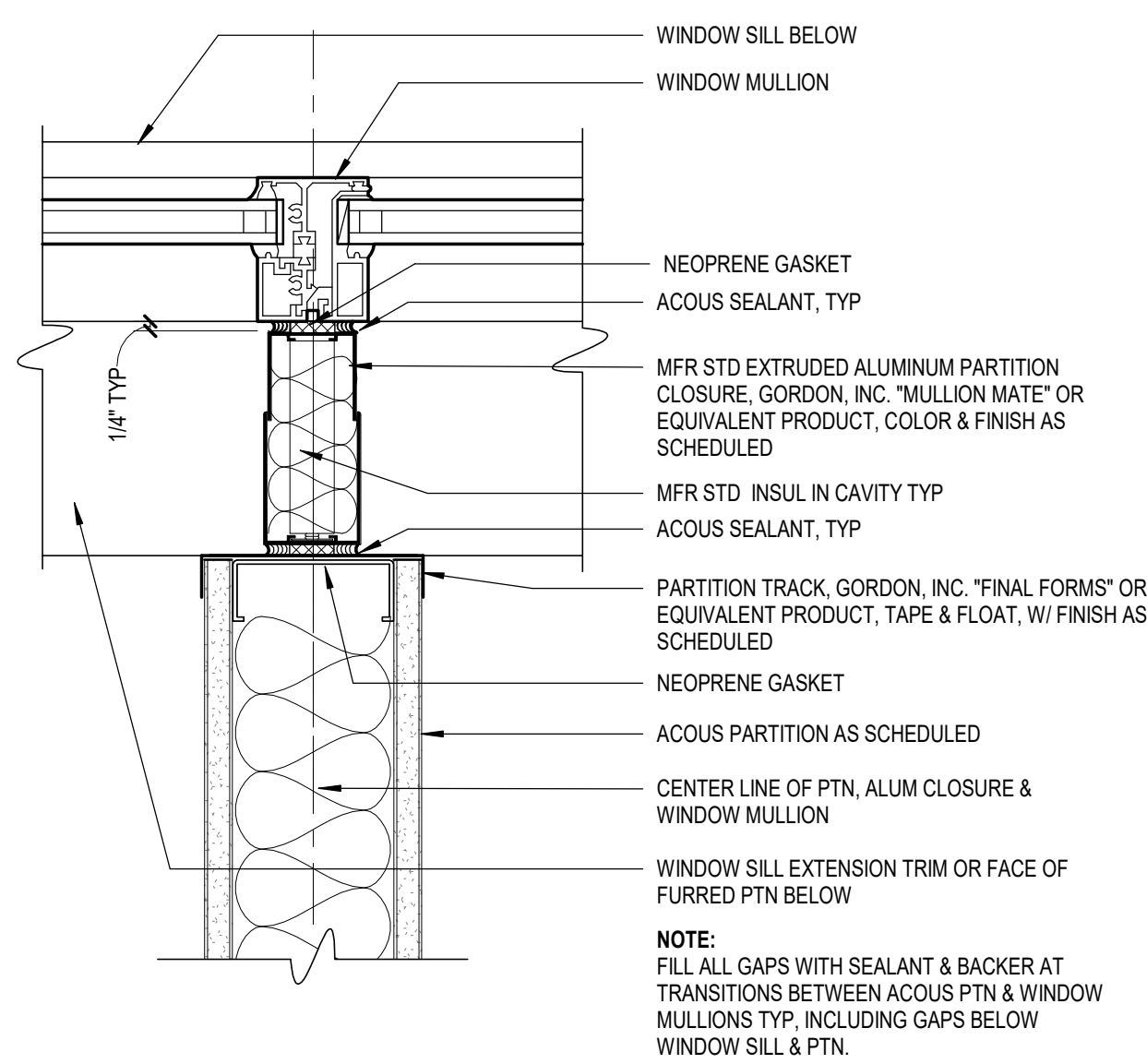
SCALE: As indicated

PROJECT NUMBER: 2224023.00  
DRAWN BY: Author  
CHECKED BY: Checker



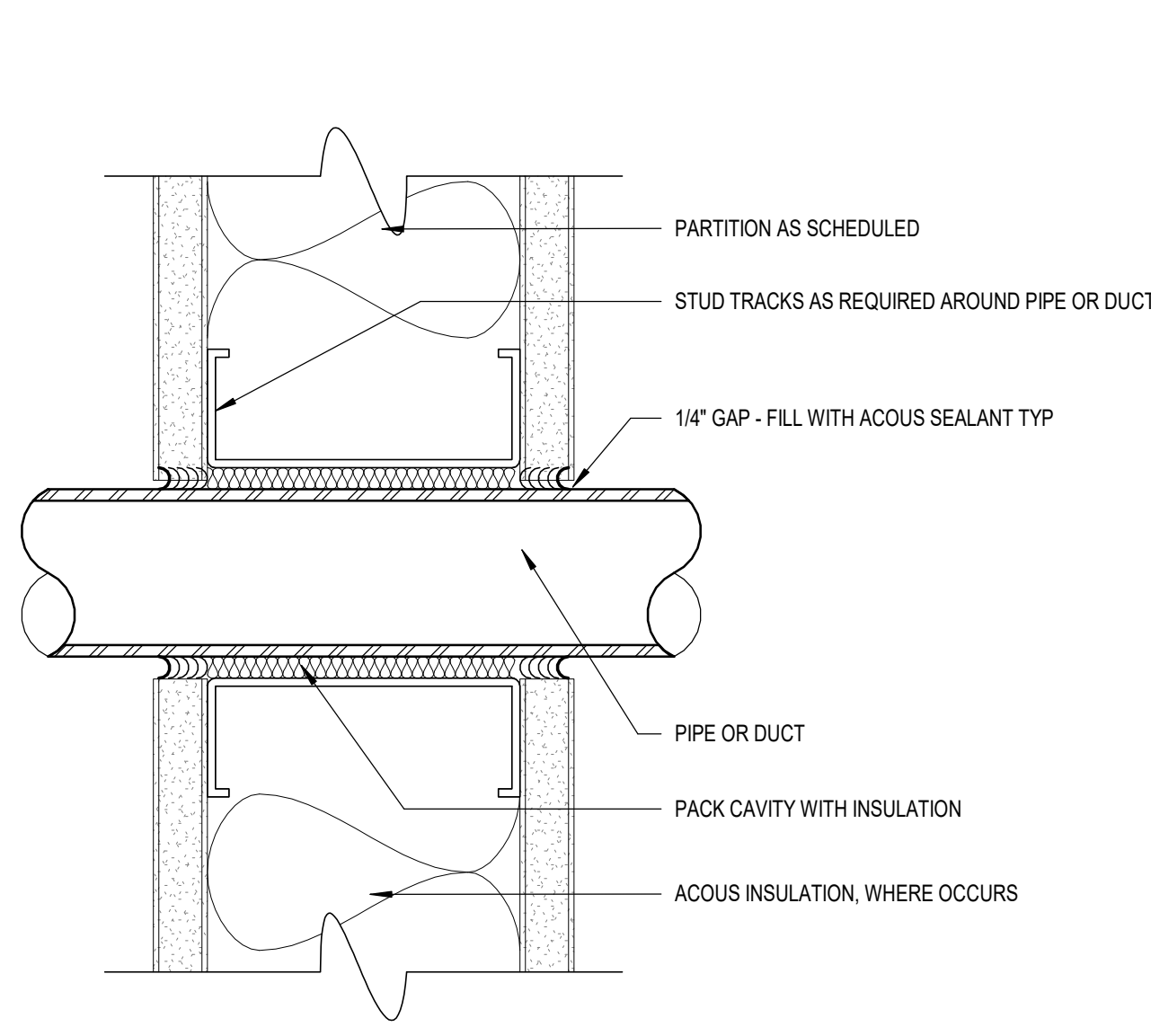
**FIRST FLOOR FINISH PLAN**

SHEET NUMBER: **A2.4**



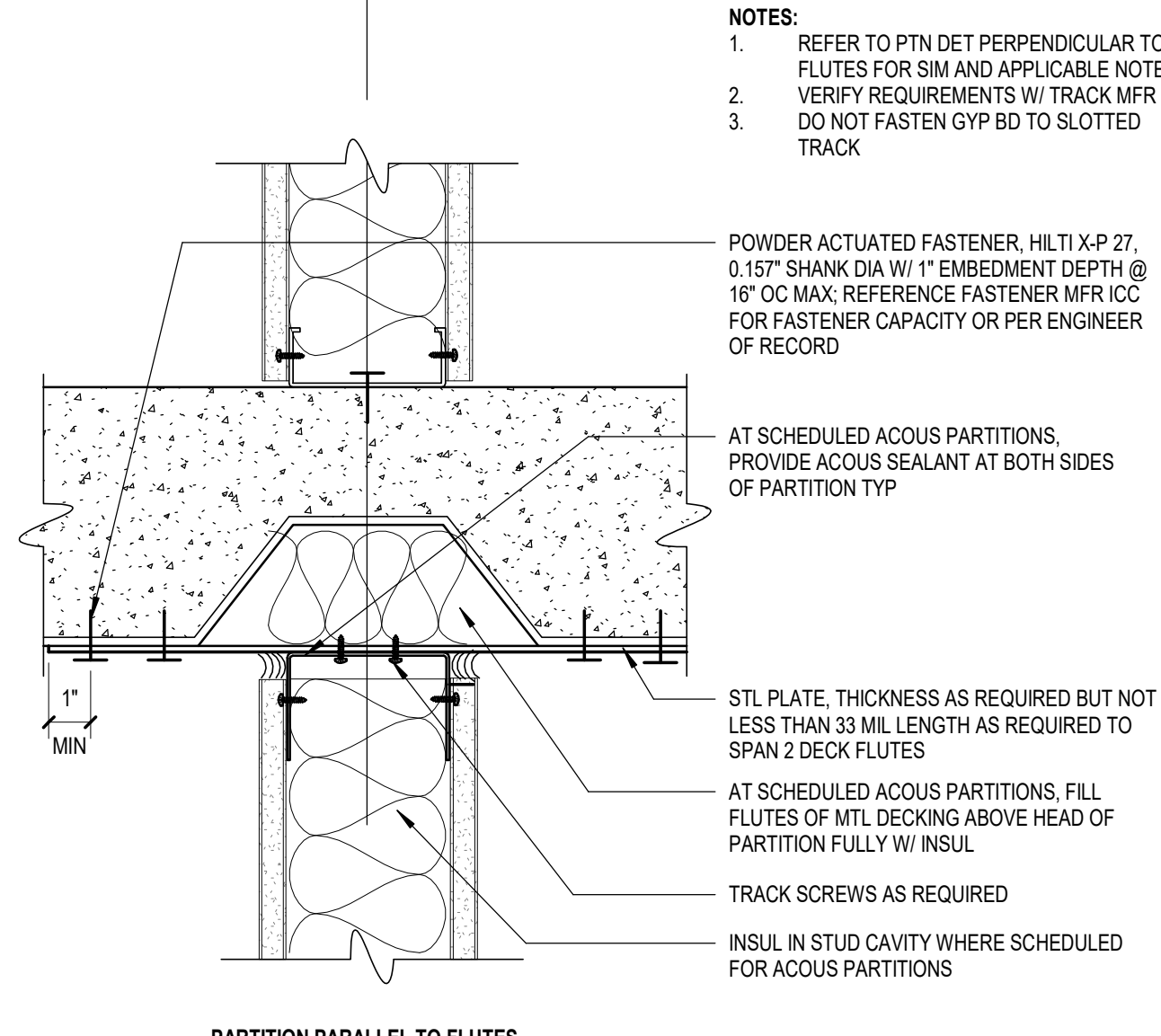
**PARTITION @ EXT WINDOW MULLION**  
3" = 1'-0"

17



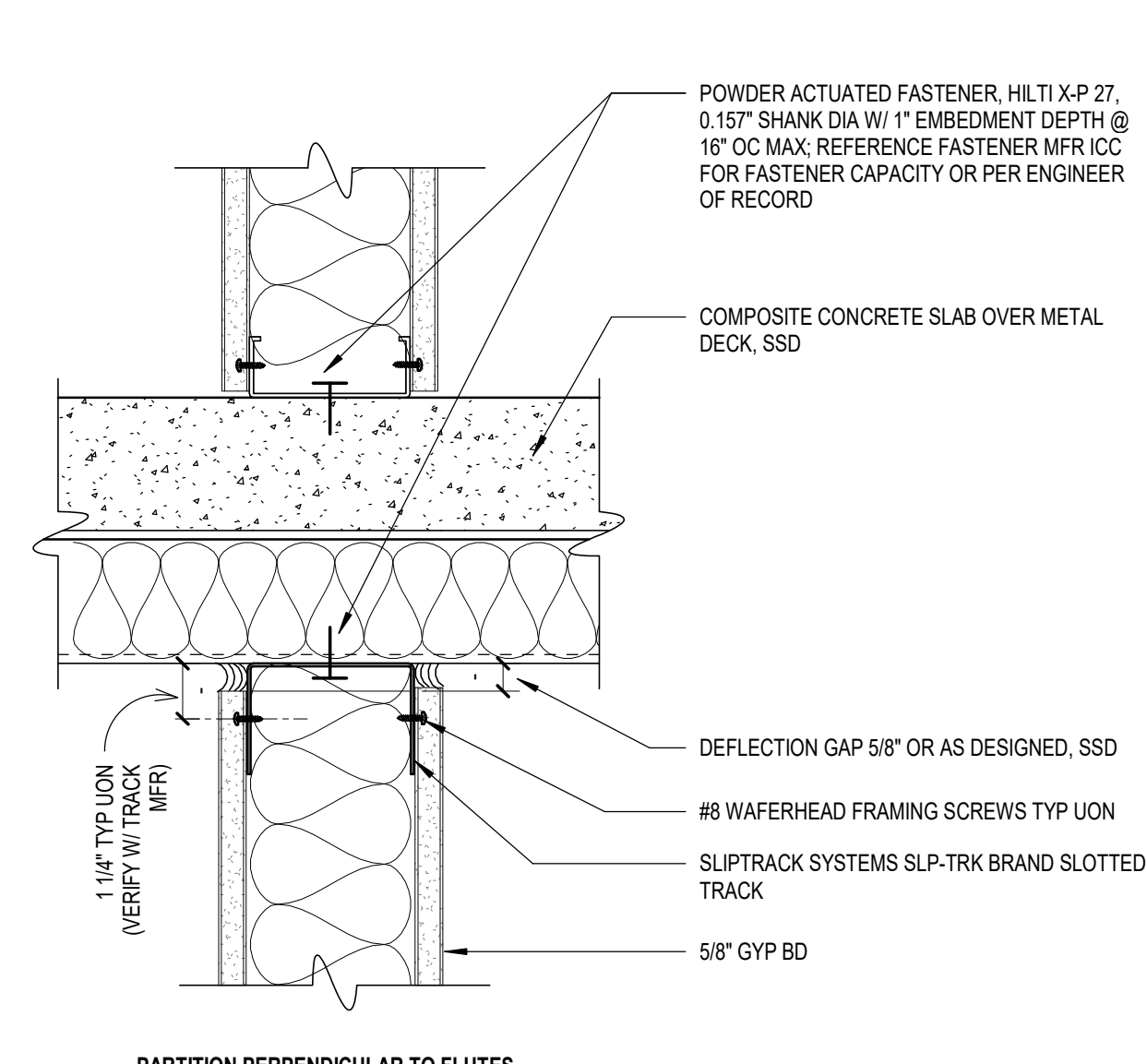
**PIPE/DUCT PENETRATION @ NON-RATED ACOUS PTN**  
6" = 1'-0"

13



**NON-RATED PARTITION HEAD/SILL @ COMPOSITE DECK**  
3" = 1'-0"

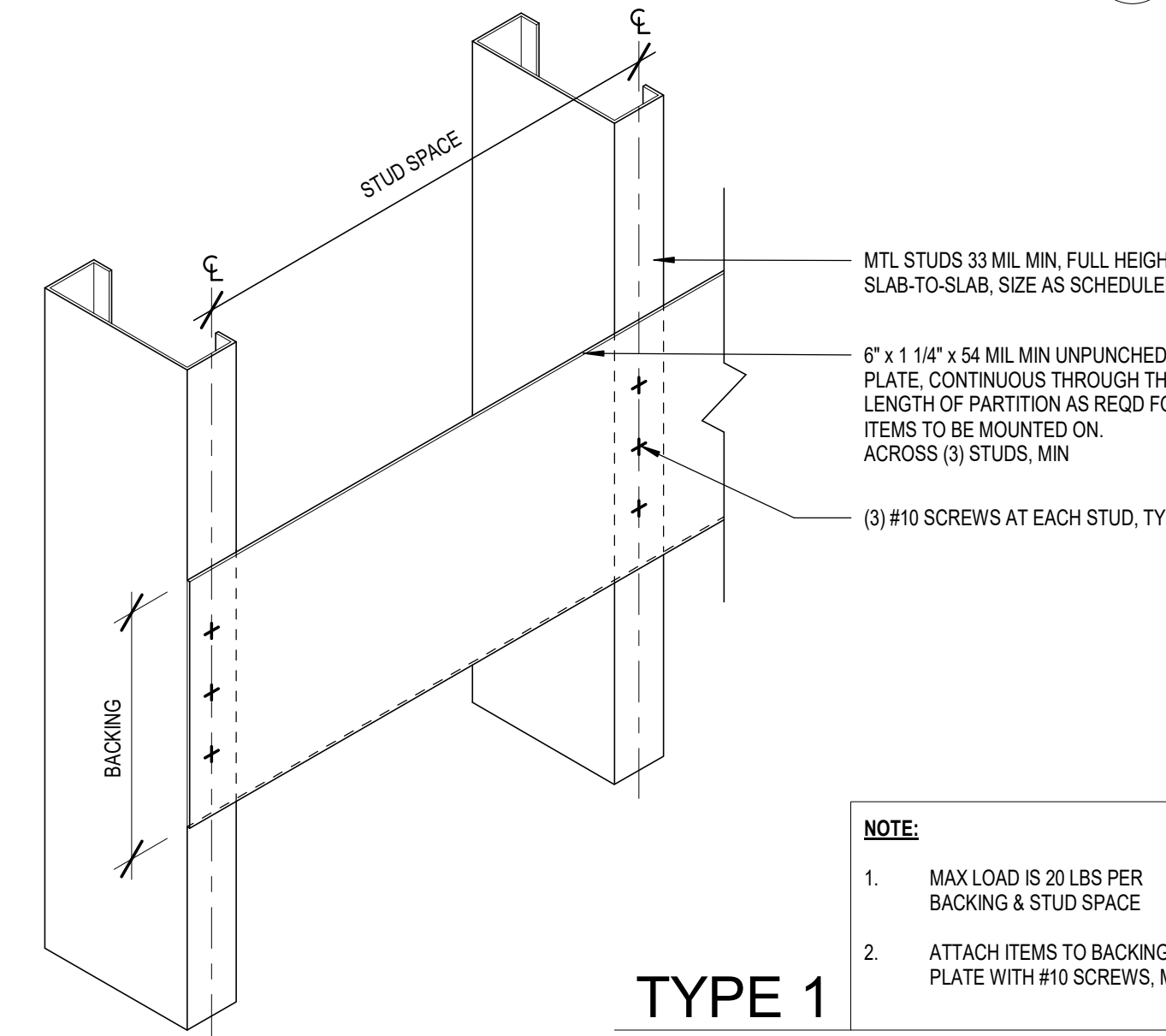
5



**PARTITION PERPENDICULAR TO FLUTES**

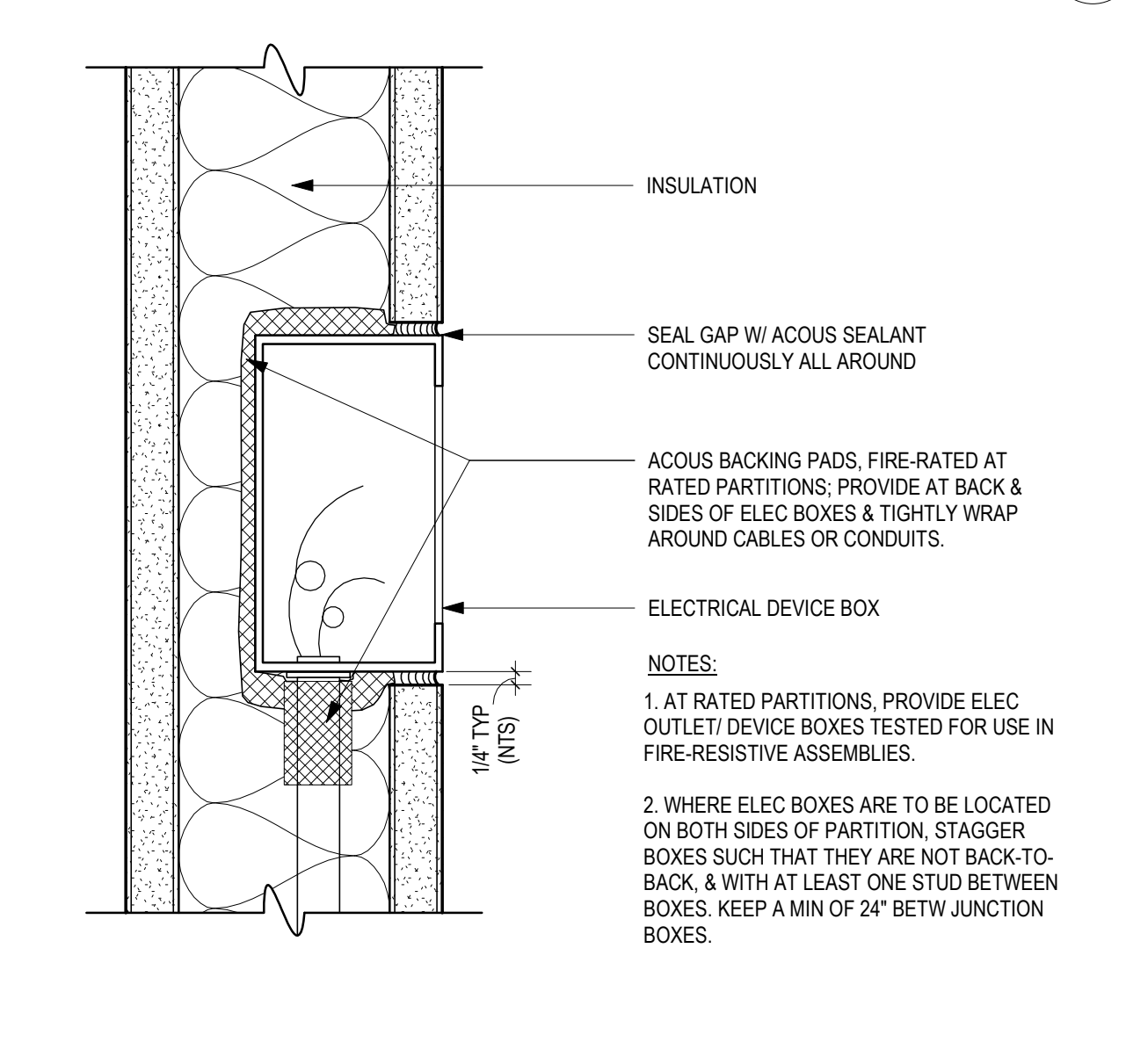
**TYPE W1:**  
NON-RATED ACOUSTICAL PTN FROM TOP OF SLAB TO UNDERSIDE OF DECK  
3.5" X 30 MIL STL STUDS @ 24" OC, ONE LAYER 5/8" GYP BD EACH SIDE W/ 3 1/2" ACOUSTICAL INSULATION IN STUD CAVITY  
STC RATING: 45 TO 49  
MAX HEIGHT - SSMA - 5 PSF  
L240: 12'-6"  
L360: 12'-11"  
NOTES:  
1. VERIFY MAX HEIGHT WITH FRAMING MANUFACTURER.  
2. VERIFY STC RATING W/ MFR'S TESTING COMPANY.  
HEAD DET: 5A9.1 SILL DET: 2A9.1

**TYPE W2:**  
1 HR-RATED ACOUSTICAL PTN FROM TOP OF SLAB TO UNDERSIDE OF DECK  
3.5" X 30 MIL STL STUDS @ 24" OC, ONE LAYER 5/8" GYP BD TYPE "X" EACH SIDE W/ 3 1/2" FIBERGLASS INSULATION IN STUD CAVITY  
UL NO: U465  
STC RATING: 45 TO 49 PER CA 030  
WP 1083 - SOUND TESTED W/ 3 1/2" GLASS FIBER INSUL  
WP 1081 - SOUND TESTED W/ 3" MINERAL FIBER INSUL  
MAX HEIGHT - SSMA - 5 PSF  
L240: 14'-0"  
L360: 12'-11"  
NOTES:  
1. VERIFY MAX HEIGHT WITH FRAMING MANUFACTURER.  
2. VERIFY STC RATING W/ MFR'S TESTING COMPANY.  
HEAD DET: 15A9.2 SILL DET: 16A9.1



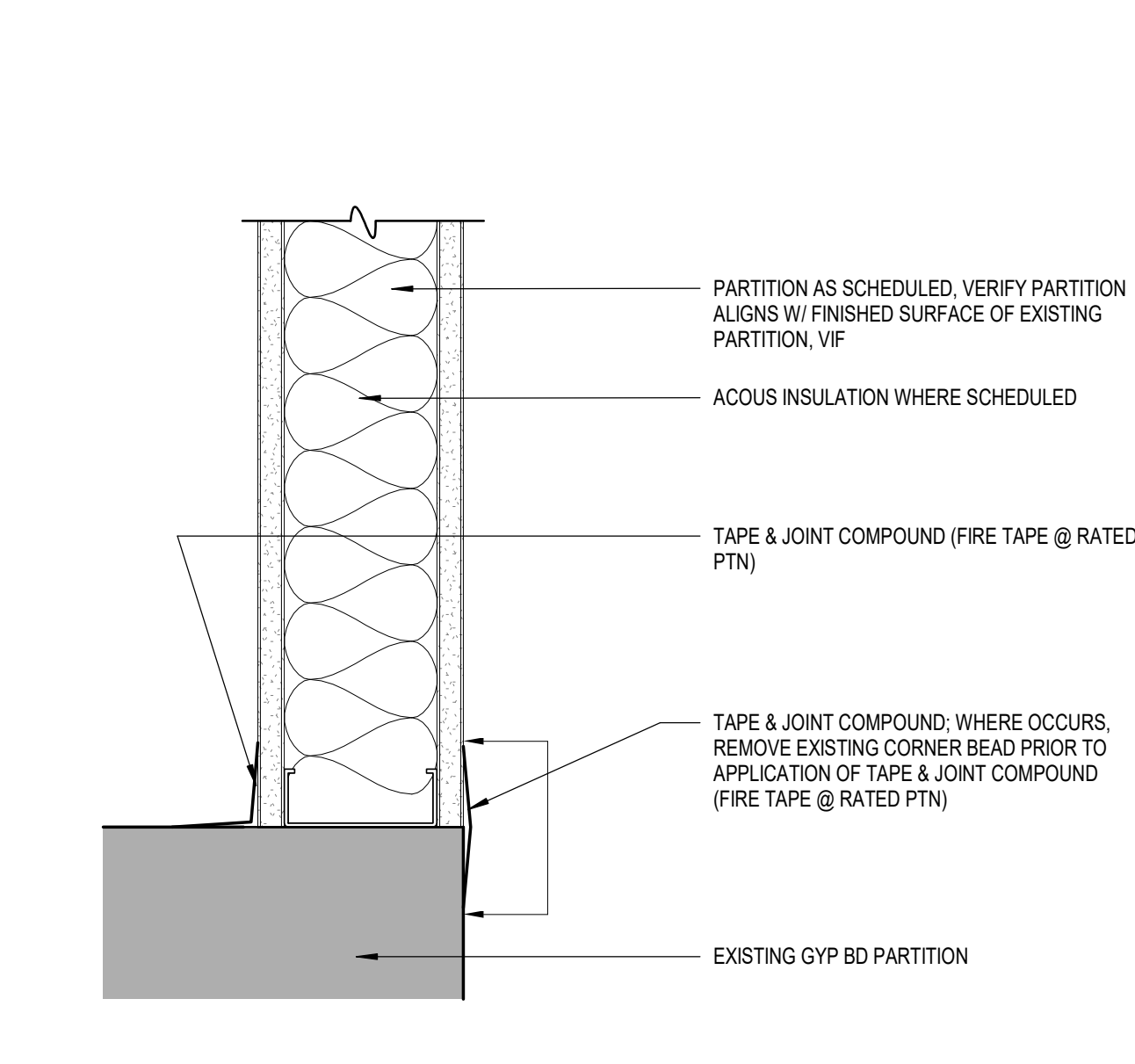
**TYPE 1**

- NOTE:**
- MAX LOAD IS 20 LBS PER BACKING & STUD SPACE
  - ATTACH ITEMS TO BACKING PLATE WITH #10 SCREWS, MIN



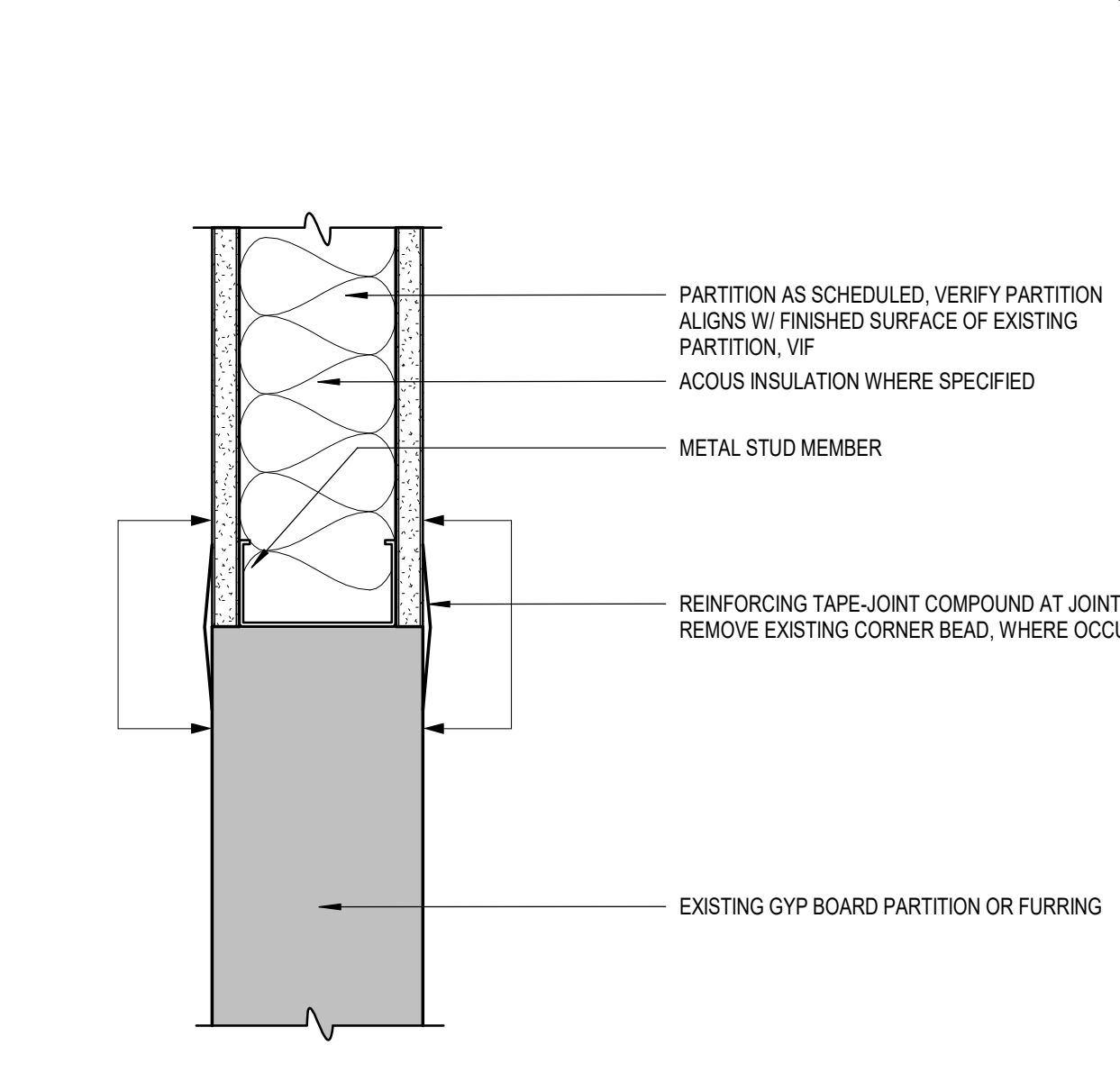
**DEVICE BOX @ RATED OR NON-RATED ACOUS PARTITION (FOR REFERENCE ONLY)**  
6" = 1'-0"

14



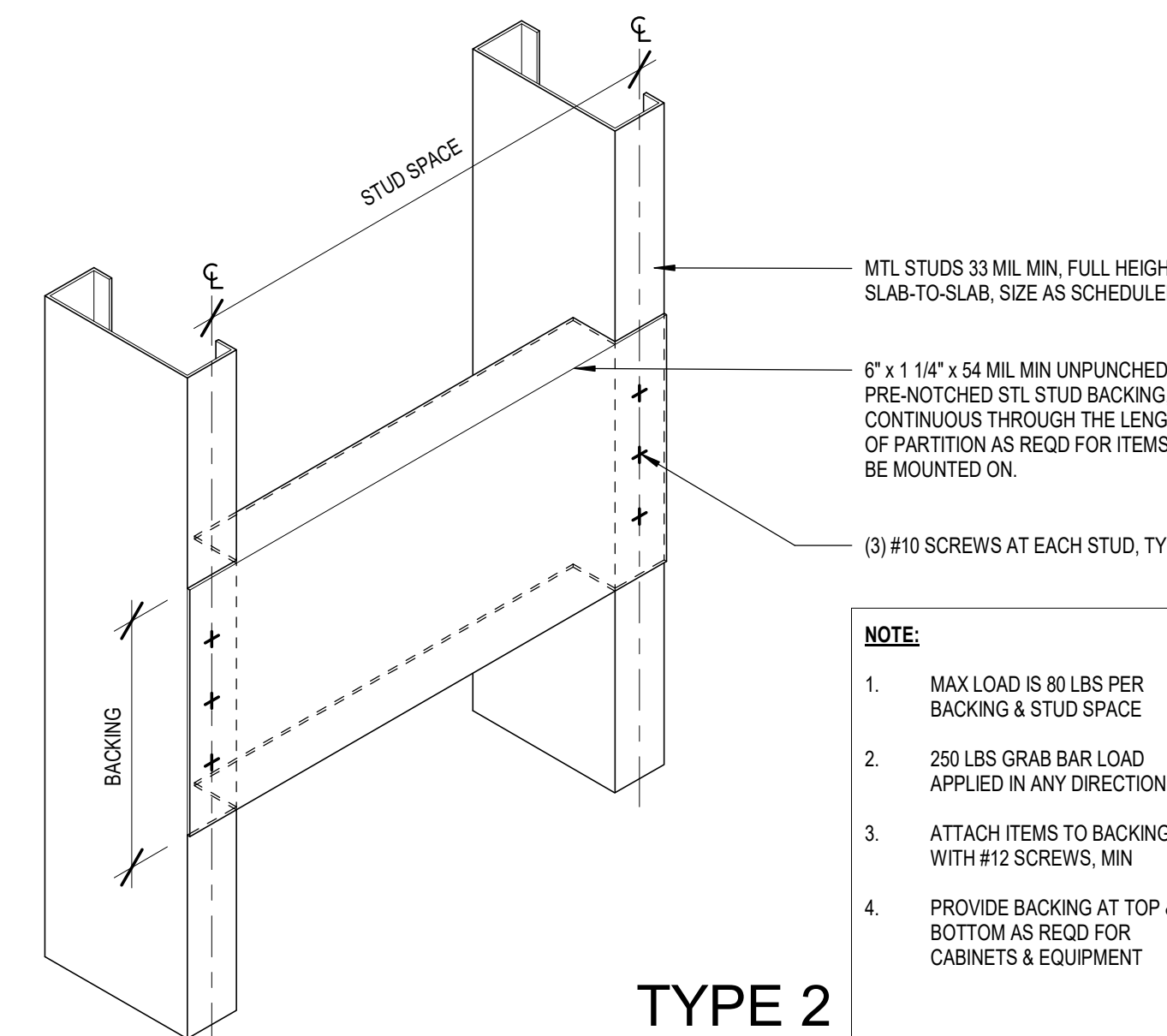
**NON-RATED PARTITION @ EXISTING CONSTR - END CONDITION**  
3" = 1'-0"

10



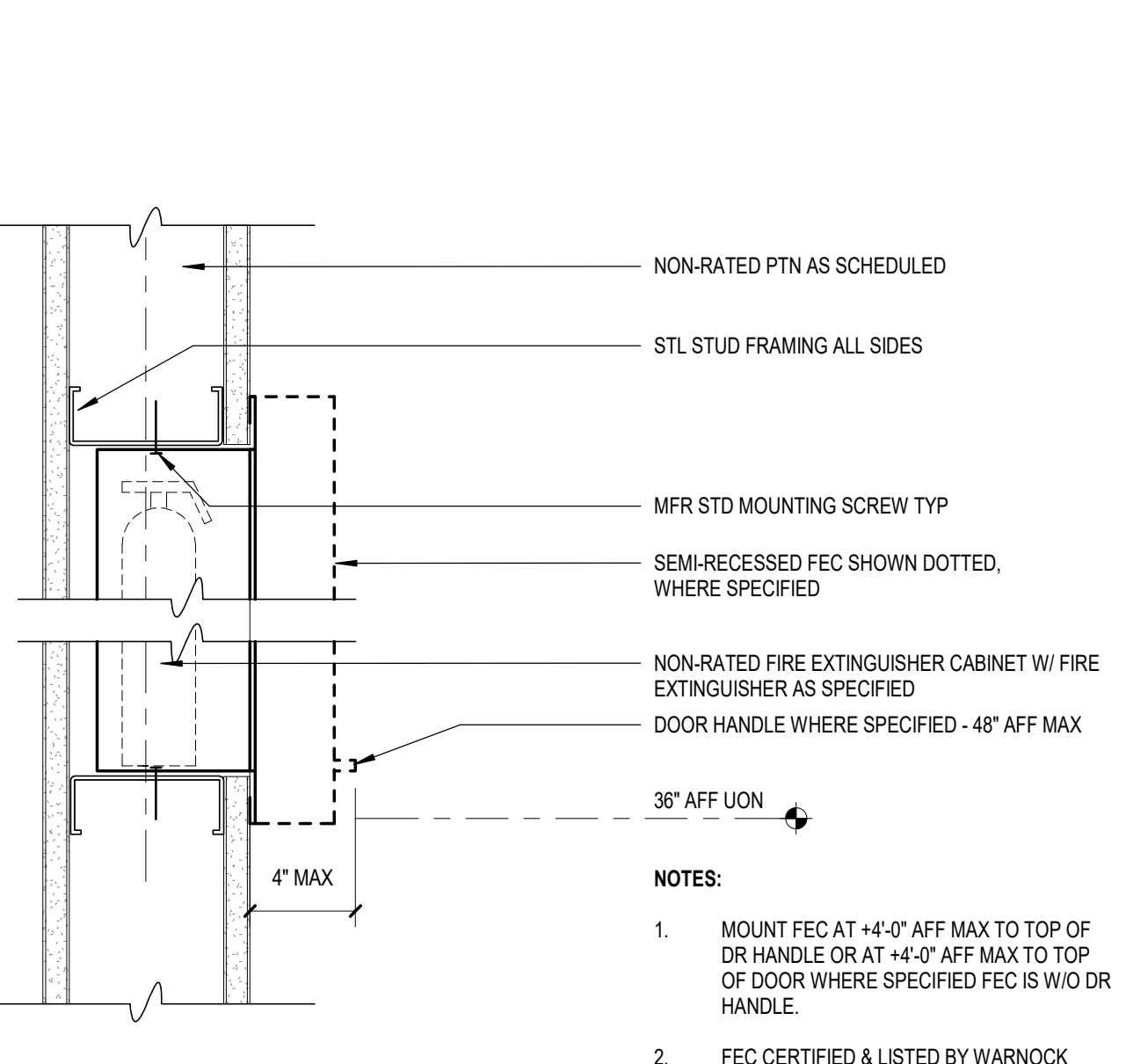
**PARTITION @ EXISTING CONSTR - ALIGNED**  
3" = 1'-0"

6



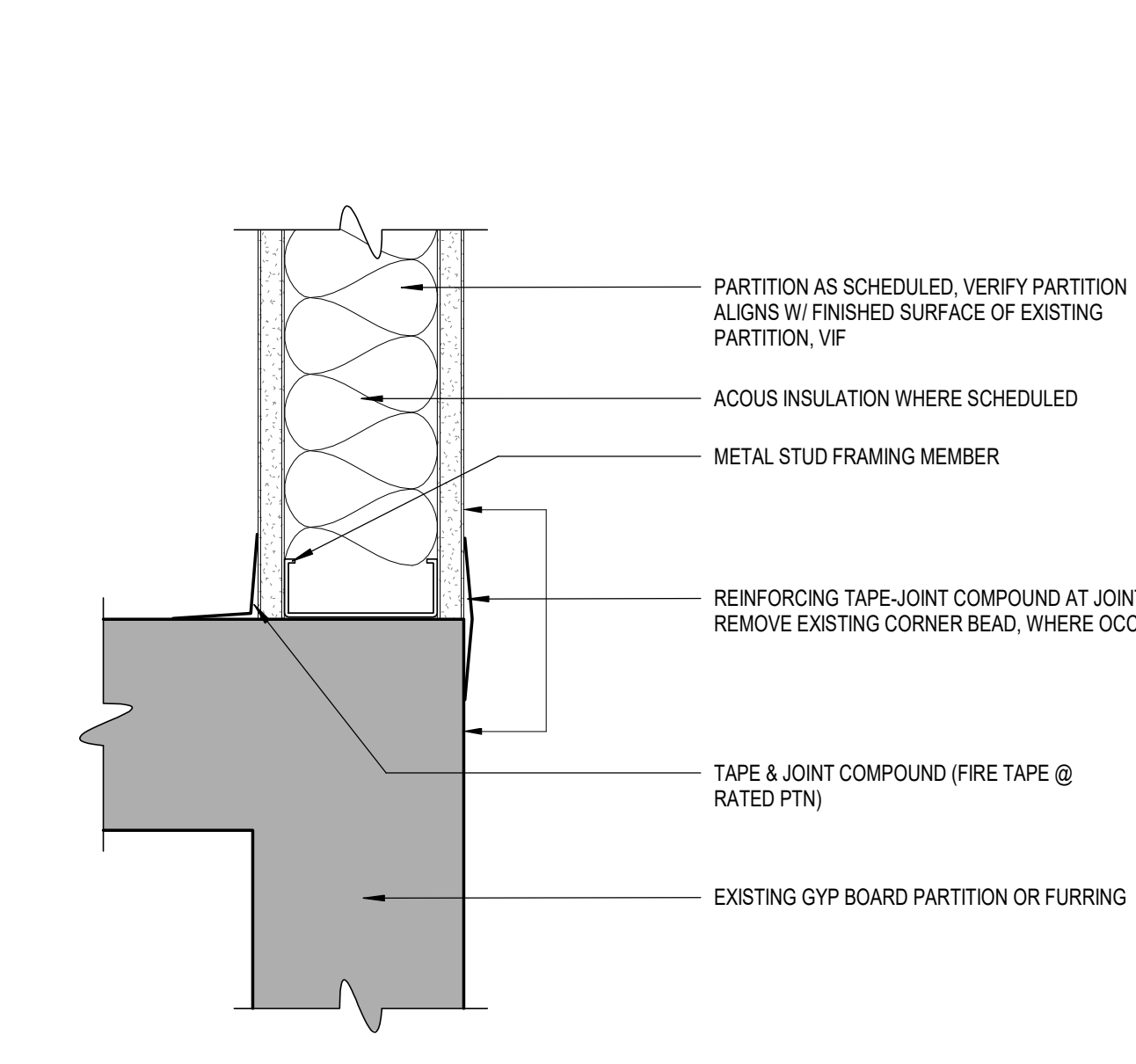
**TYPE 2**

- NOTE:**
- MAX LOAD IS 80 LBS PER BACKING & STUD SPACE
  - 250 LBS GRAB BAR LOAD APPLIED IN ANY DIRECTION
  - ATTACH ITEMS TO BACKING WITH #12 SCREWS, MIN
  - PROVIDE BACKING AT TOP & BOTTOM AS REQD FOR CABINETS & EQUIPMENT



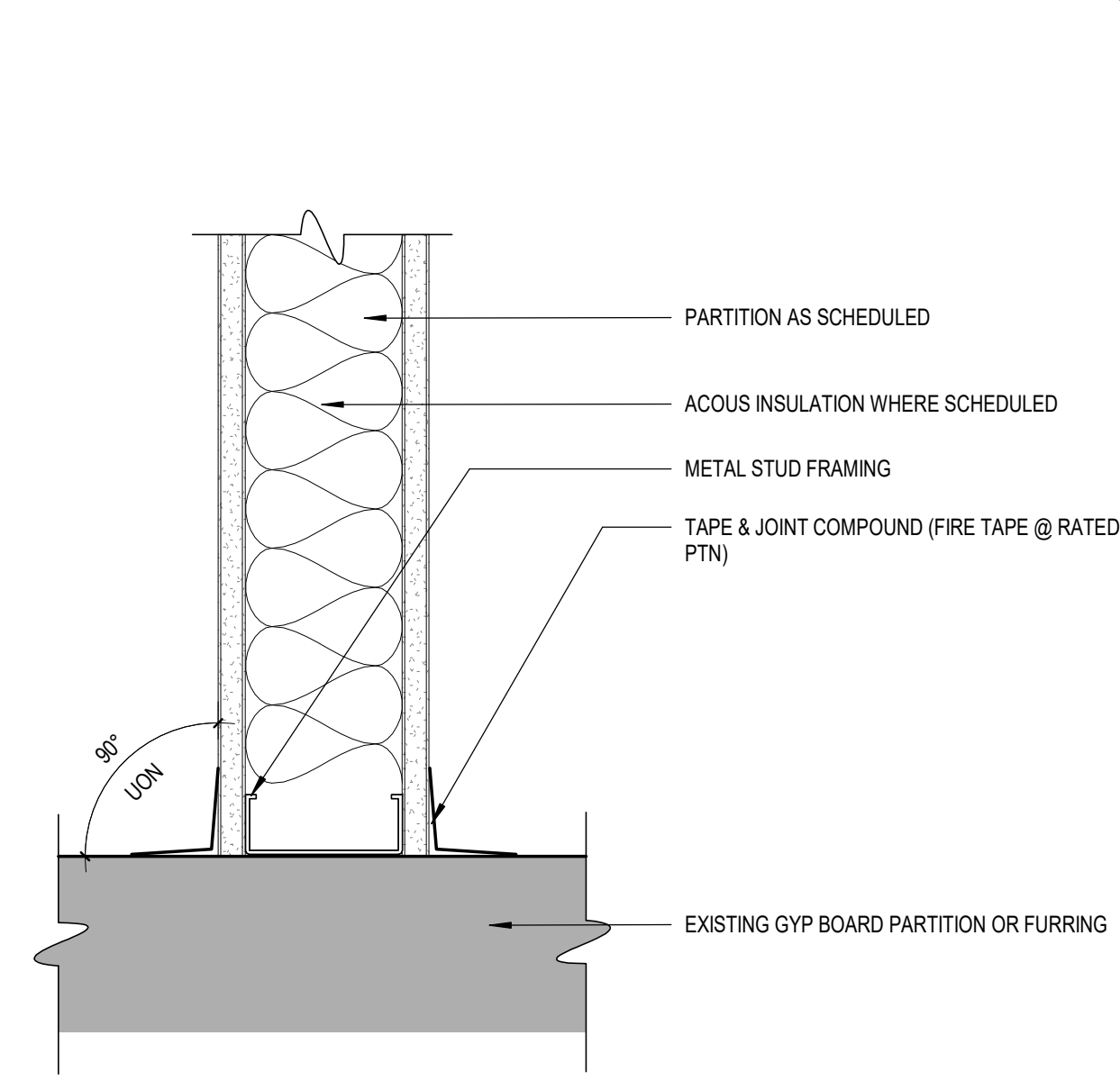
**FEC @ NON-RATED PTN - RECESSED MOUNTED**  
3" = 1'-0"

15



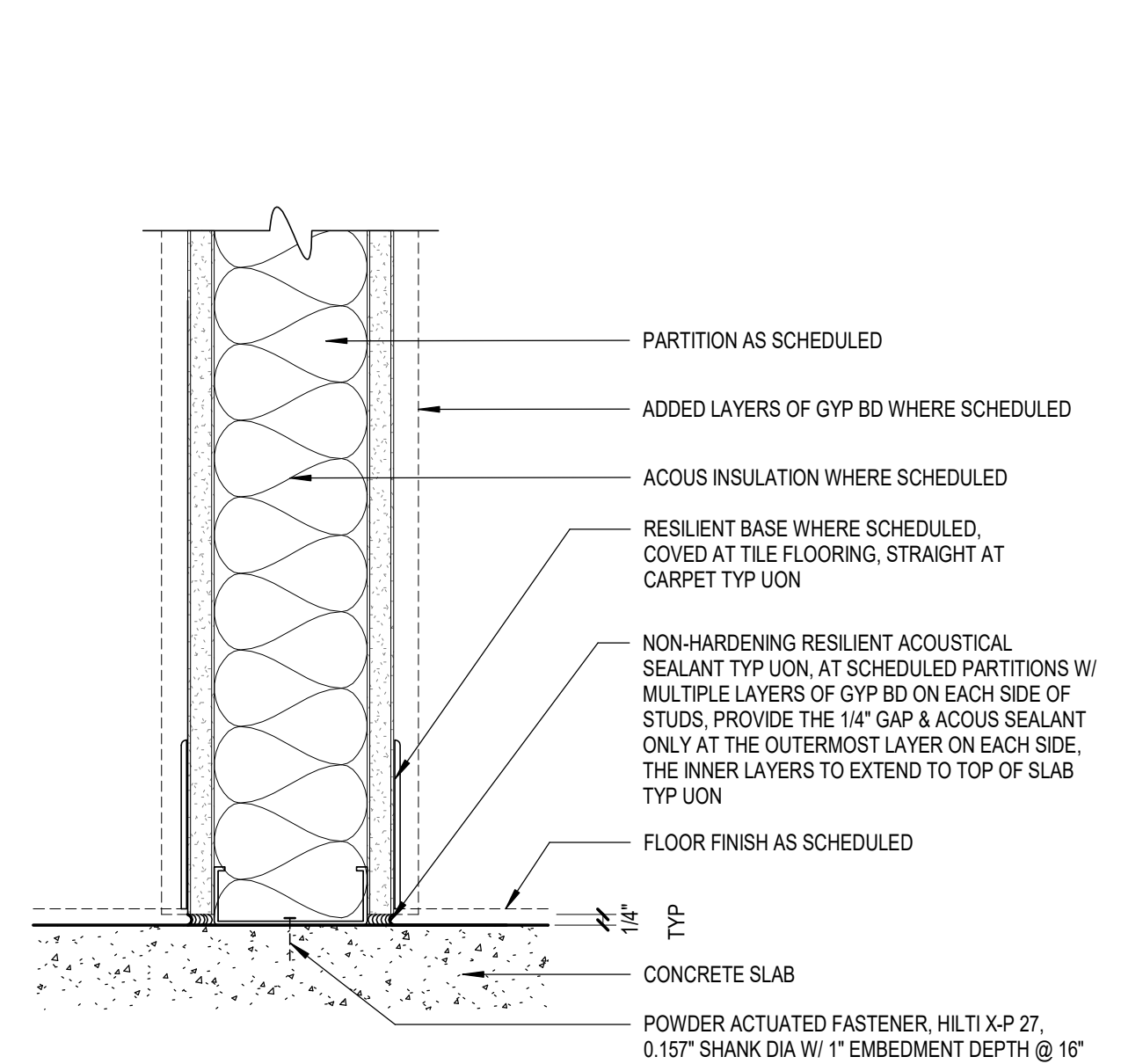
**NON-RATED PARTITION @ EXISTING CONSTR - OUTSIDE CORNER**  
3" = 1'-0"

11



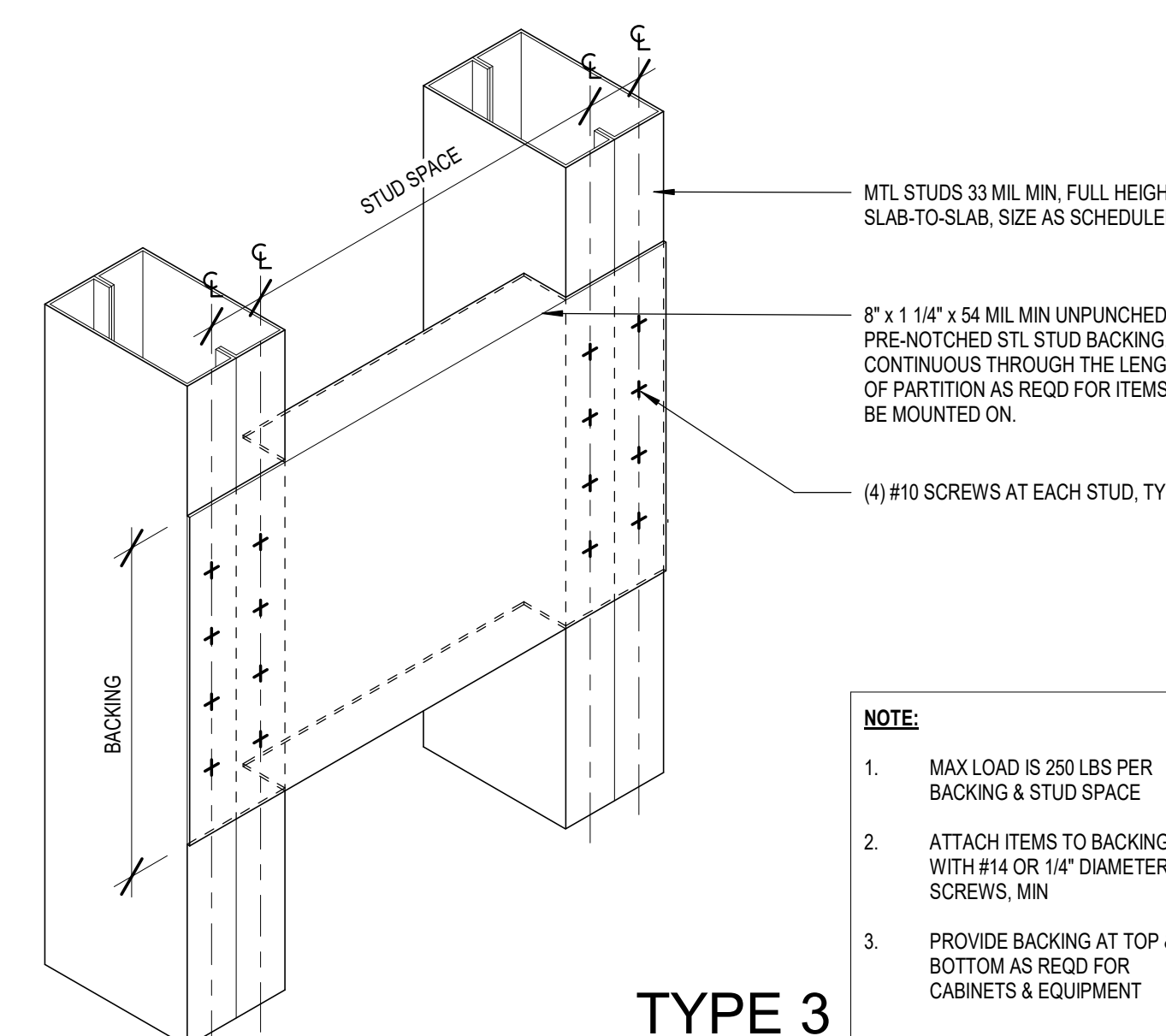
**NON-RATED PARTITION @ EXISTING CONSTR - PERP TO EXISTING PTN**  
3" = 1'-0"

7



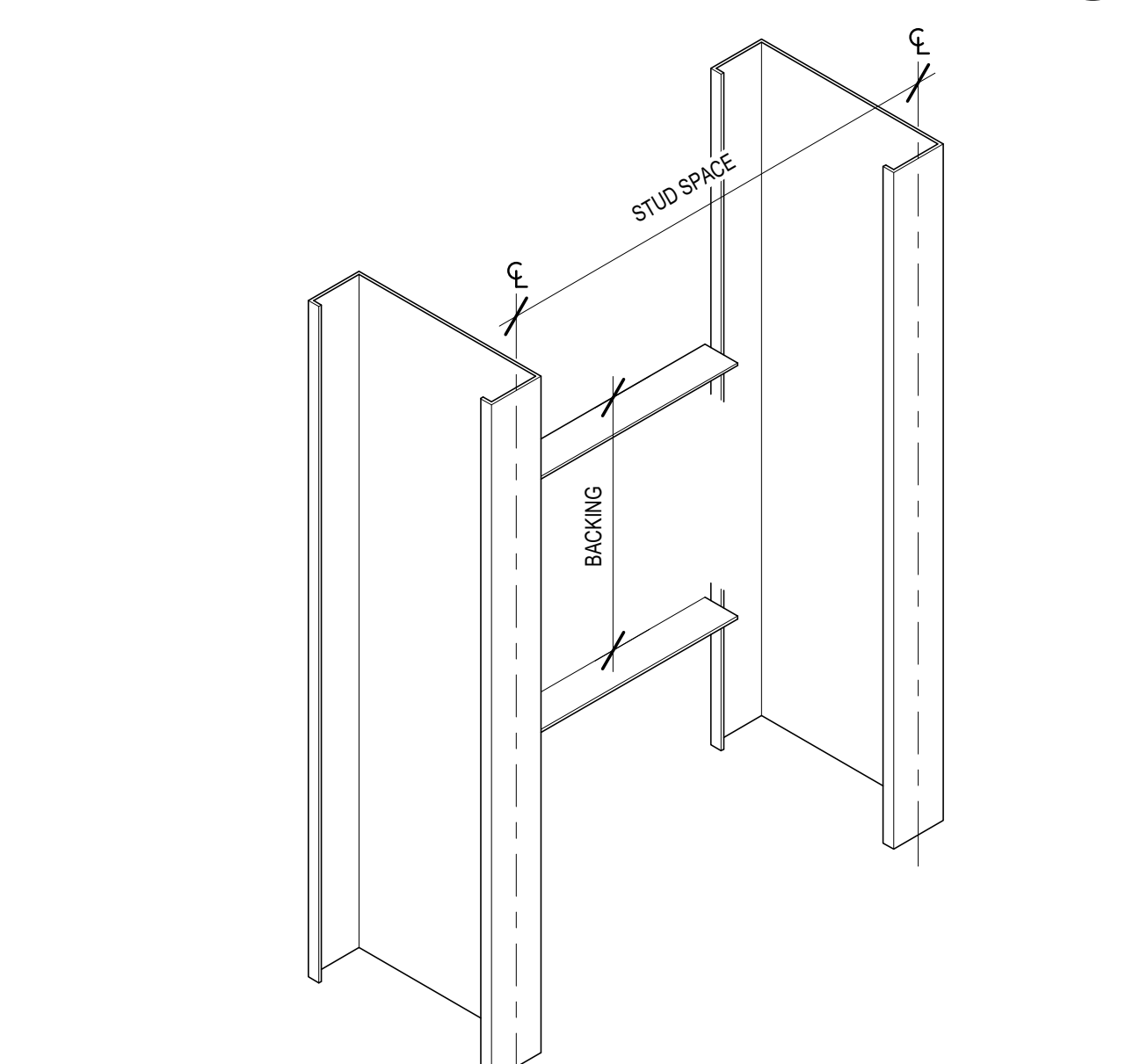
**NON-RATED PARTITION SILL**  
3" = 1'-0"

2



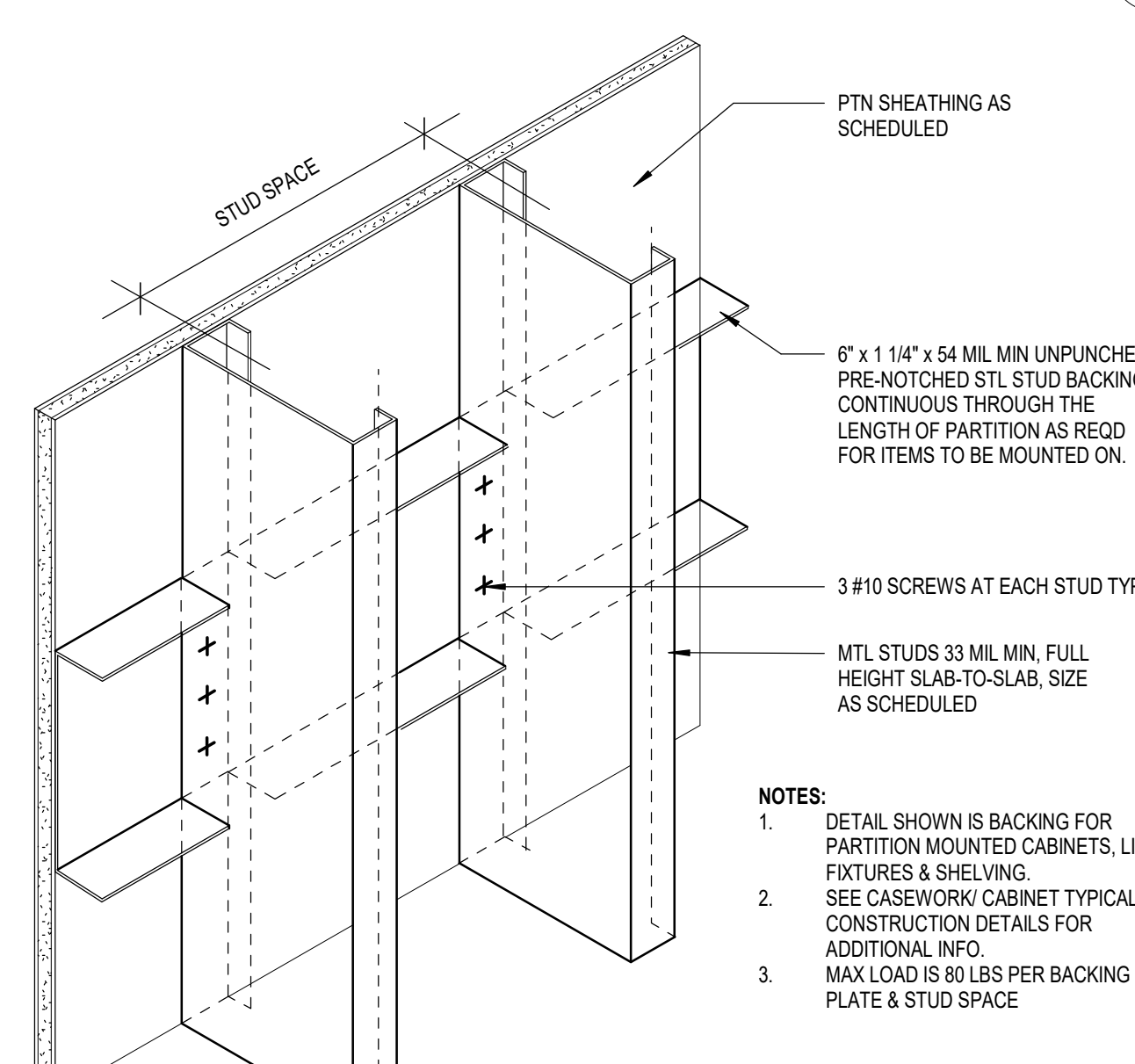
**TYPE 3**

- NOTE:**
- MAX LOAD IS 250 LBS PER BACKING & STUD SPACE
  - ATTACH ITEMS TO BACKING WITH #14 OR 1/4" DIAMETER SCREWS, MIN
  - PROVIDE BACKING AT TOP & BOTTOM AS REQD FOR CABINETS & EQUIPMENT



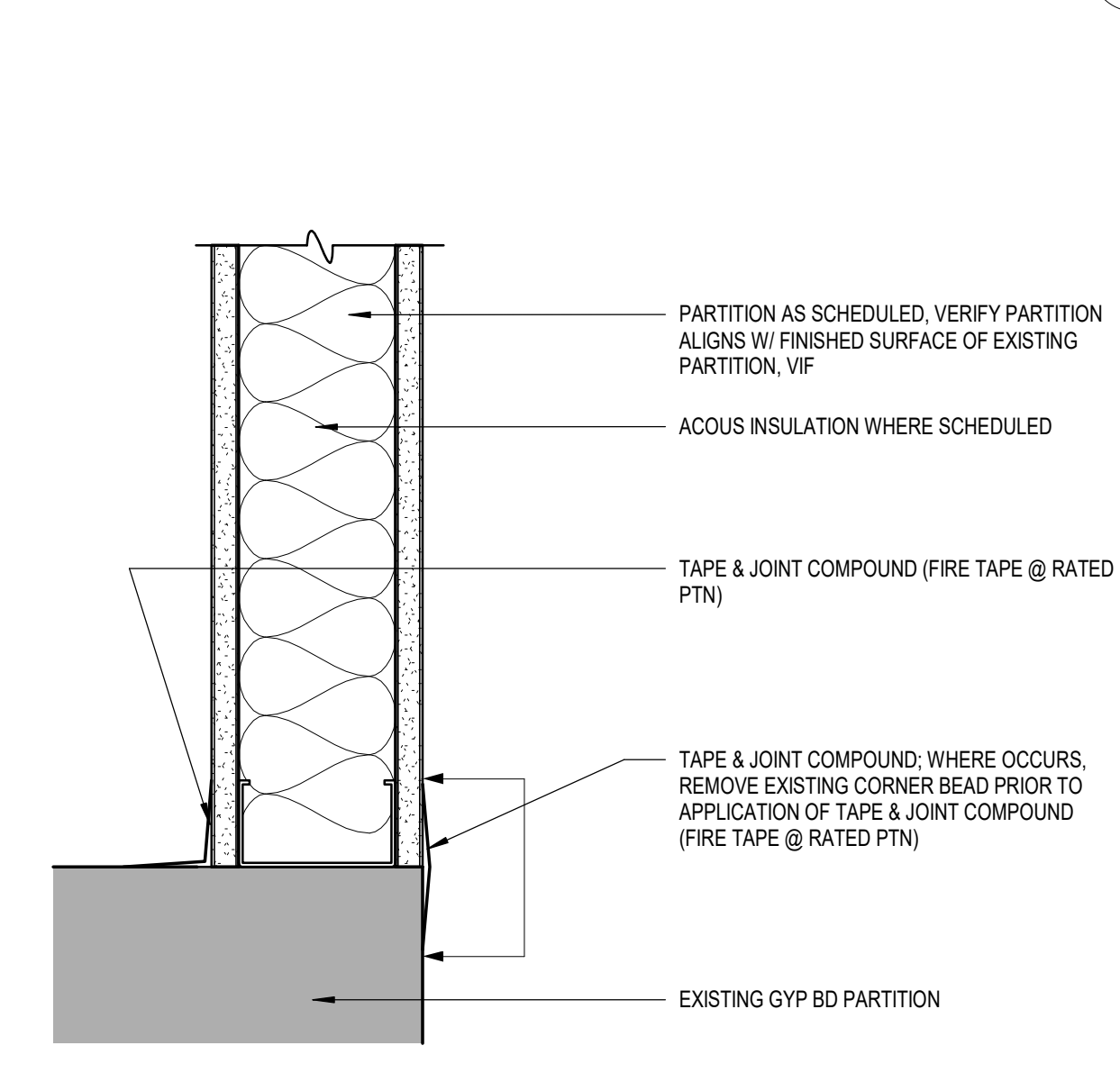
**PARTITIONS CONCEALED BACKING - TYPE 1**  
3" = 1'-0"

20



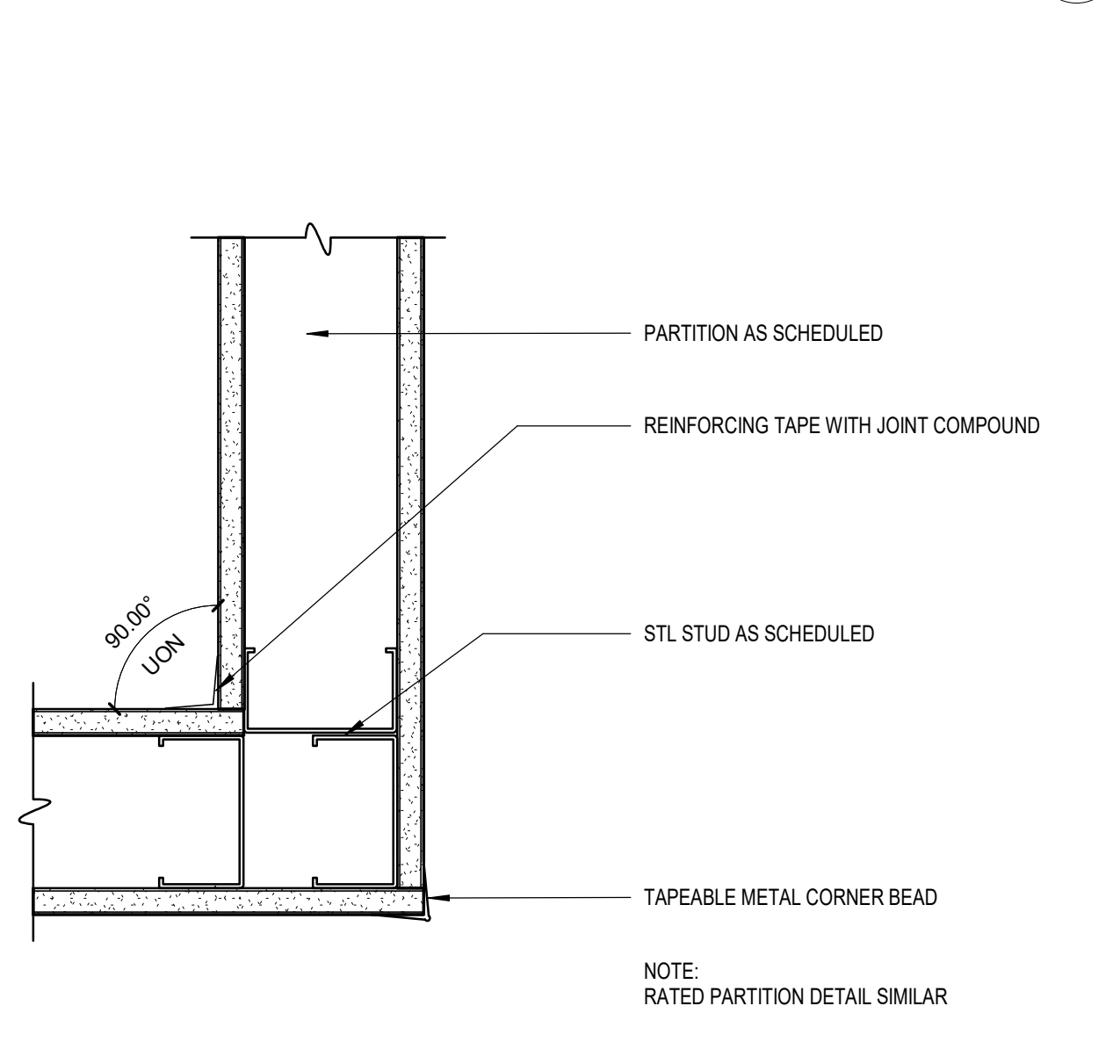
**PARTITION @ EXISTING CONSTR - END CONDITION**  
3" = 1'-0"

12



**NON-RATED PARTITION @ OUTSIDE CORNER**  
3" = 1'-0"

8



**RAW**

RAW Architecture Interiors  
1718 3rd Street Suite 101 Sacramento California 95811  
Office 916 449-1400 Fax 415 449-1414  
rmw.com

**THE RISING ZONE (TRZ)**

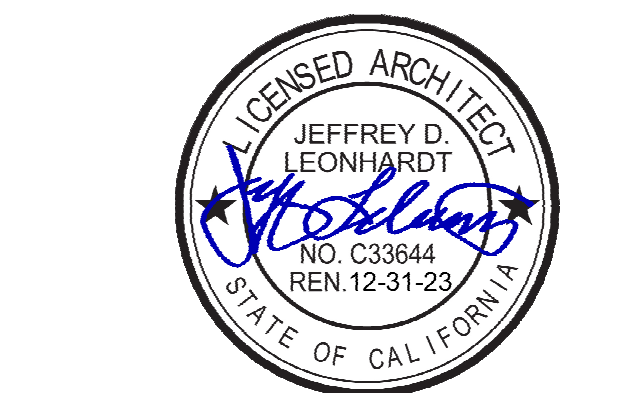
5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE:  
ISSUE DATE:  
REVISIONS:

NO.	DESCRIPTION	DATE

SCALE: As Indicated

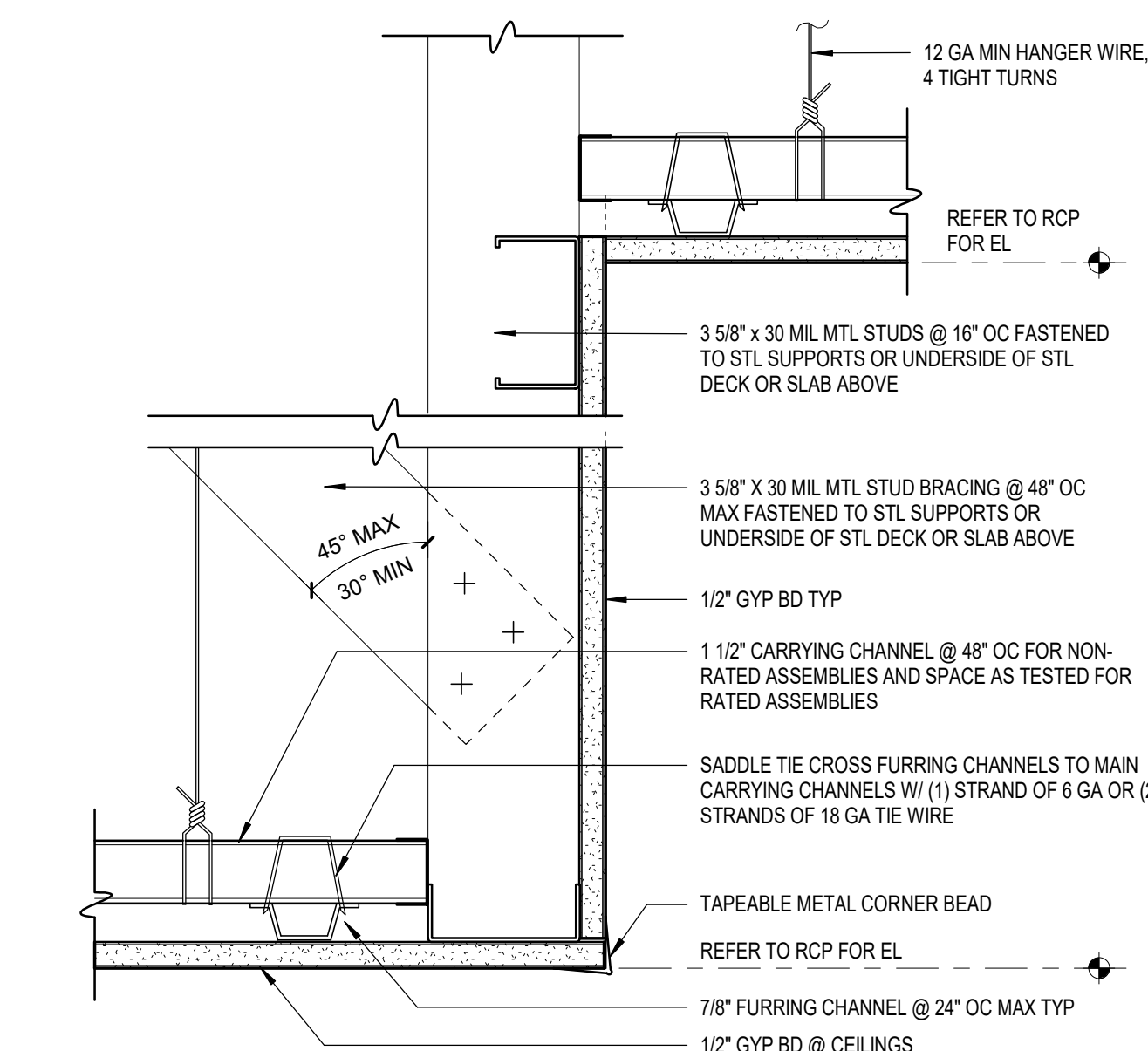
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DRAWN BY: SG  
CHECKED BY: ML



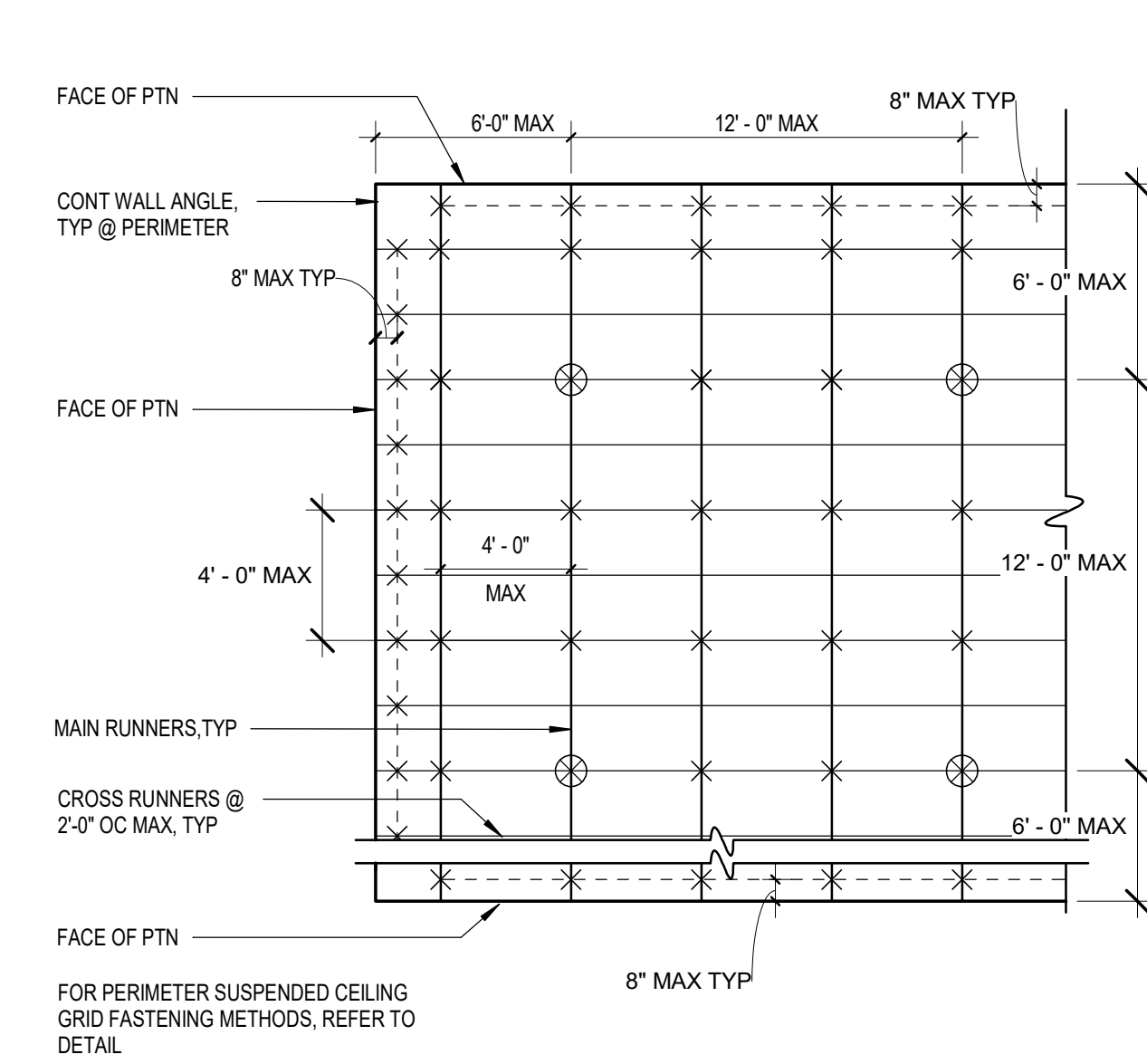
**PARTITION DETAILS**

**GENERAL NOTES**

- EXISTING CEILING AND CEILING HEIGHTS TO REMAIN.
- CEILING DETAILS ARE FOR REFERENCE ONLY TO PATCH AND REPAIR EXISTING CEILING FOR NEW WALLS AS REQUIRED.
- SUSPENDED ACOUSTICAL CEILING SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C635 AND ASTM C636.



**SUSP GYP BD CLG @ SOFFIT**  
3\"/>



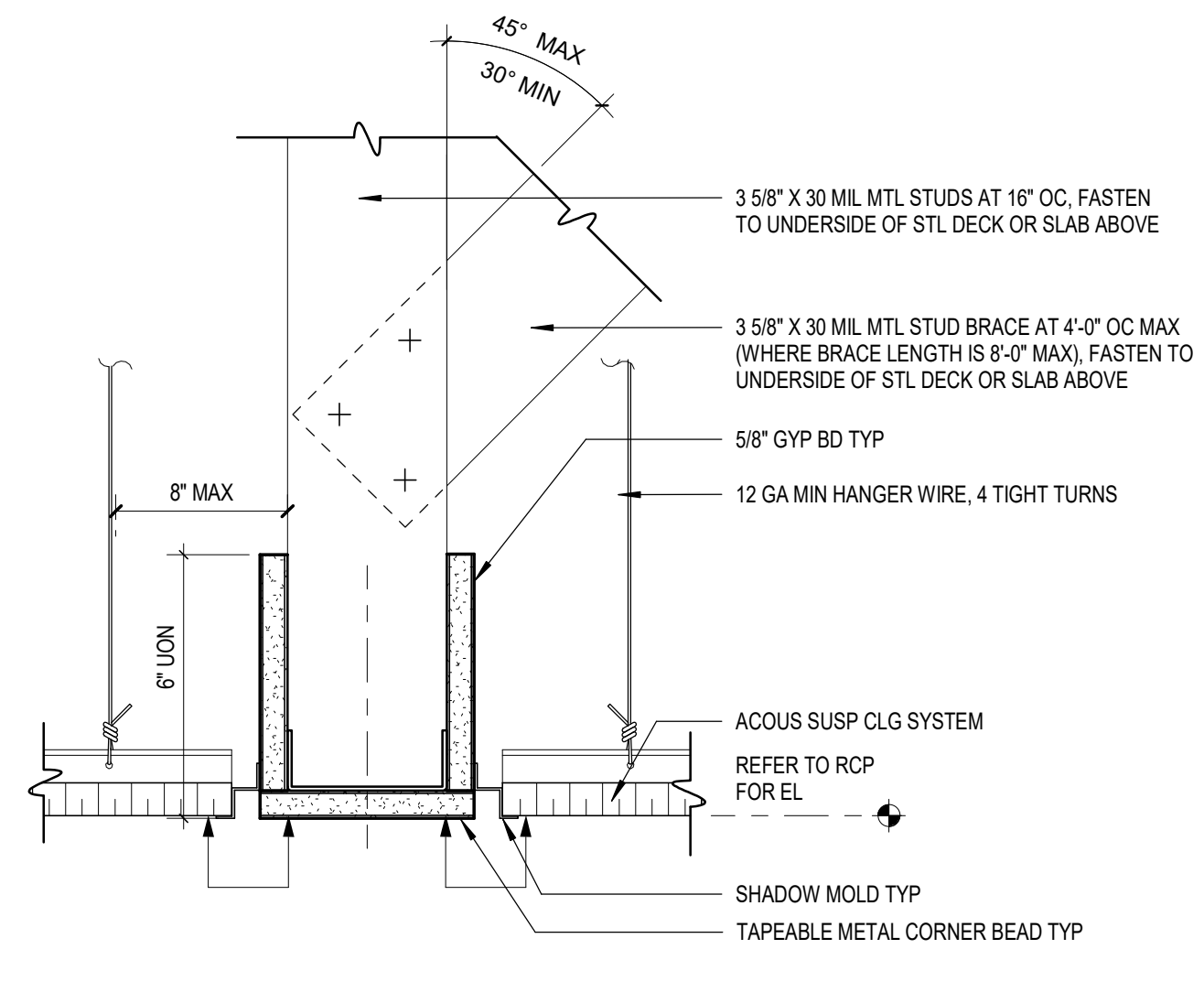
**SUSPENDED CEILING SUPPORT/FRAMING DIAGRAM**  
3\"/>

- LEGEND:**
- HANGER WIRES, 12 GA MIN @ 4'-0\"/>
- CONTRACTOR TO FIELD VERIFY SEISMIC SEPARATION REQUIREMENTS, HORIZONTAL STRUT REQUIREMENTS, AND SPECIAL INSPECTION REQUIREMENTS ARE MET.**
- NOTES:**
- REFER TO SPEC FOR SUSPENDED CEILING SYSTEM INFO & REQUIREMENTS
  - SUSPENSION SYSTEM STRUCTURAL CLASSIFICATION: HEAVY-DUTY.
  - PROVIDE 2\"/>

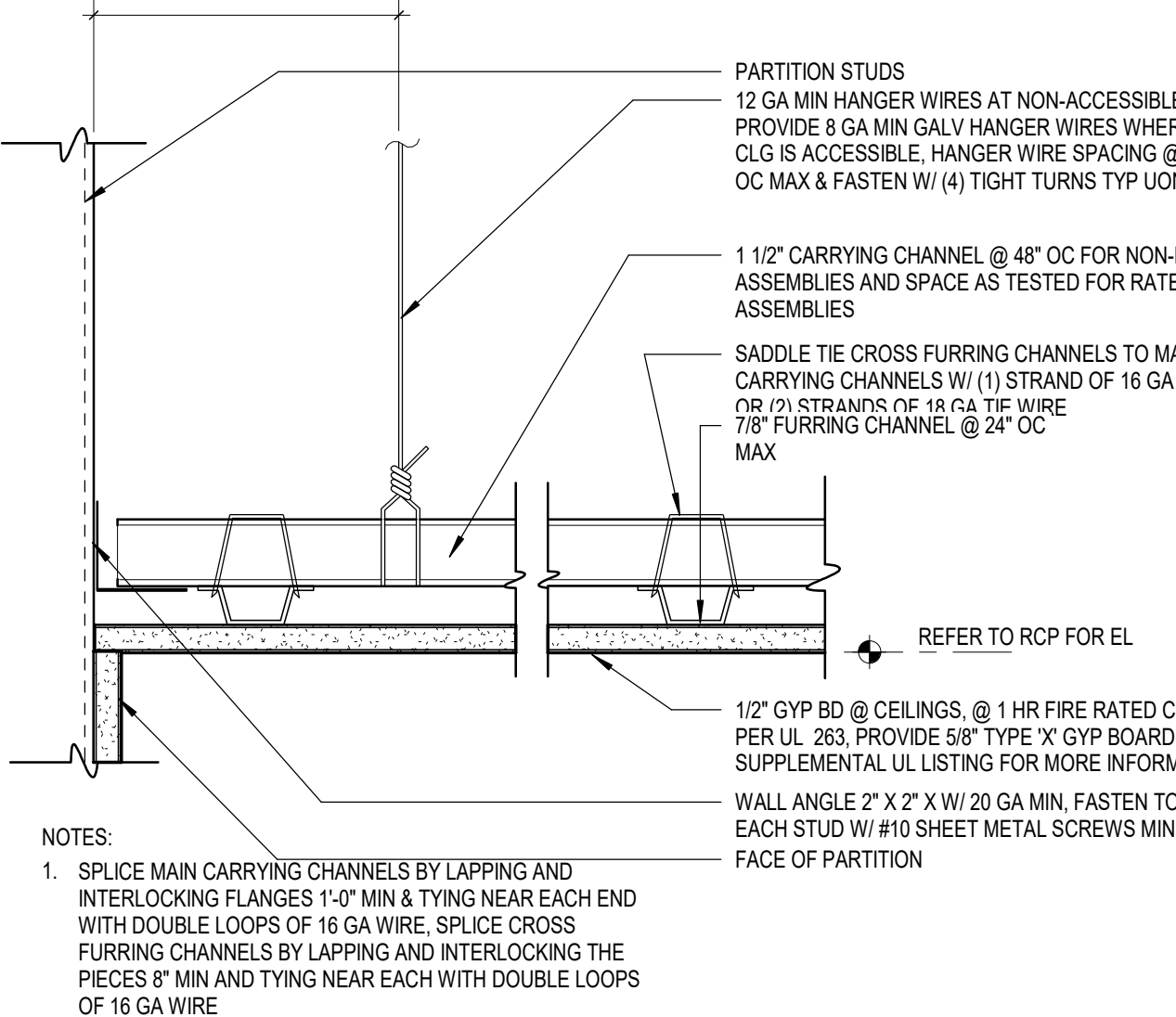
**RAW**

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Sacramento  
California 95811

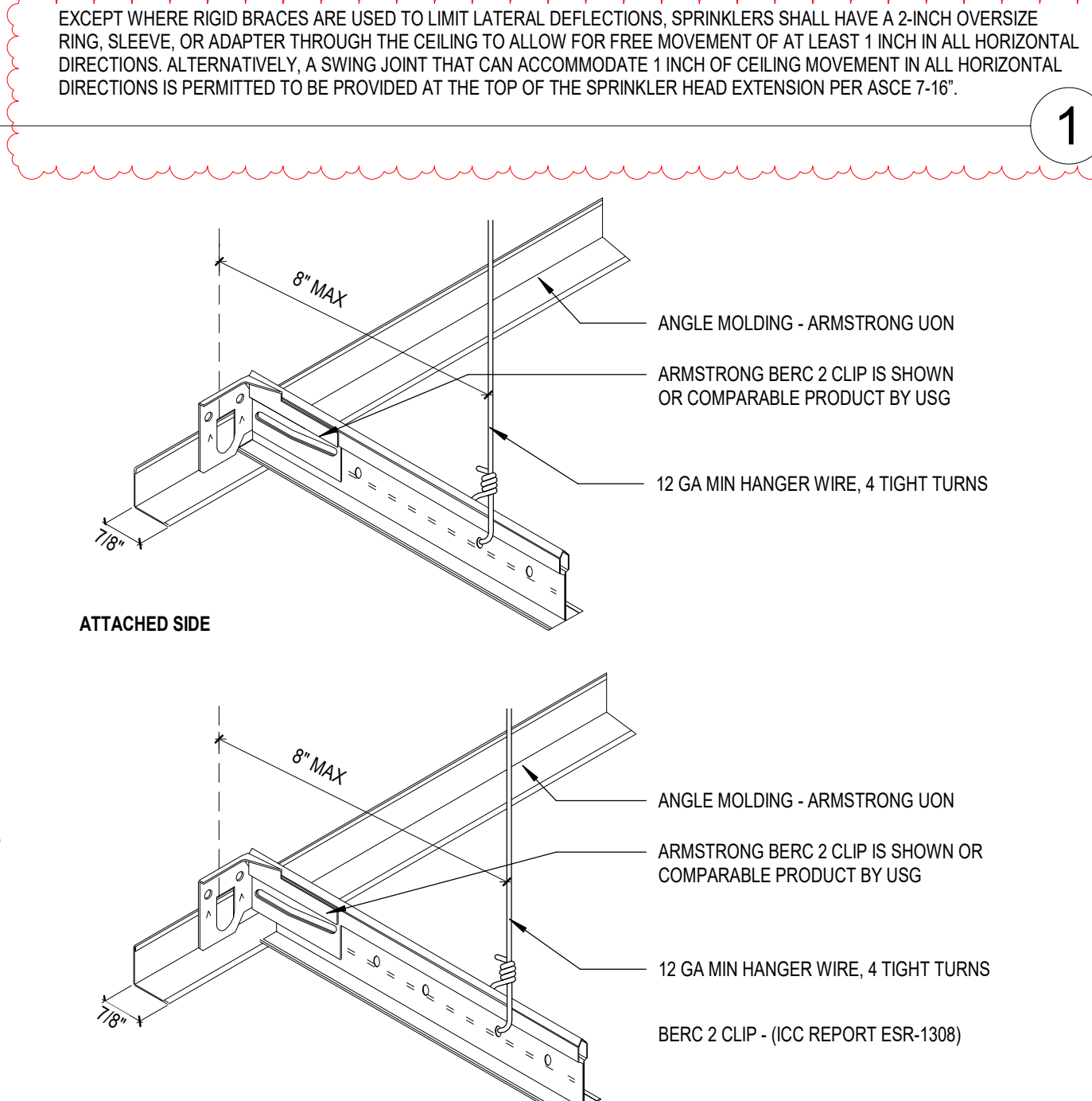
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Fax: 415 449-1414  
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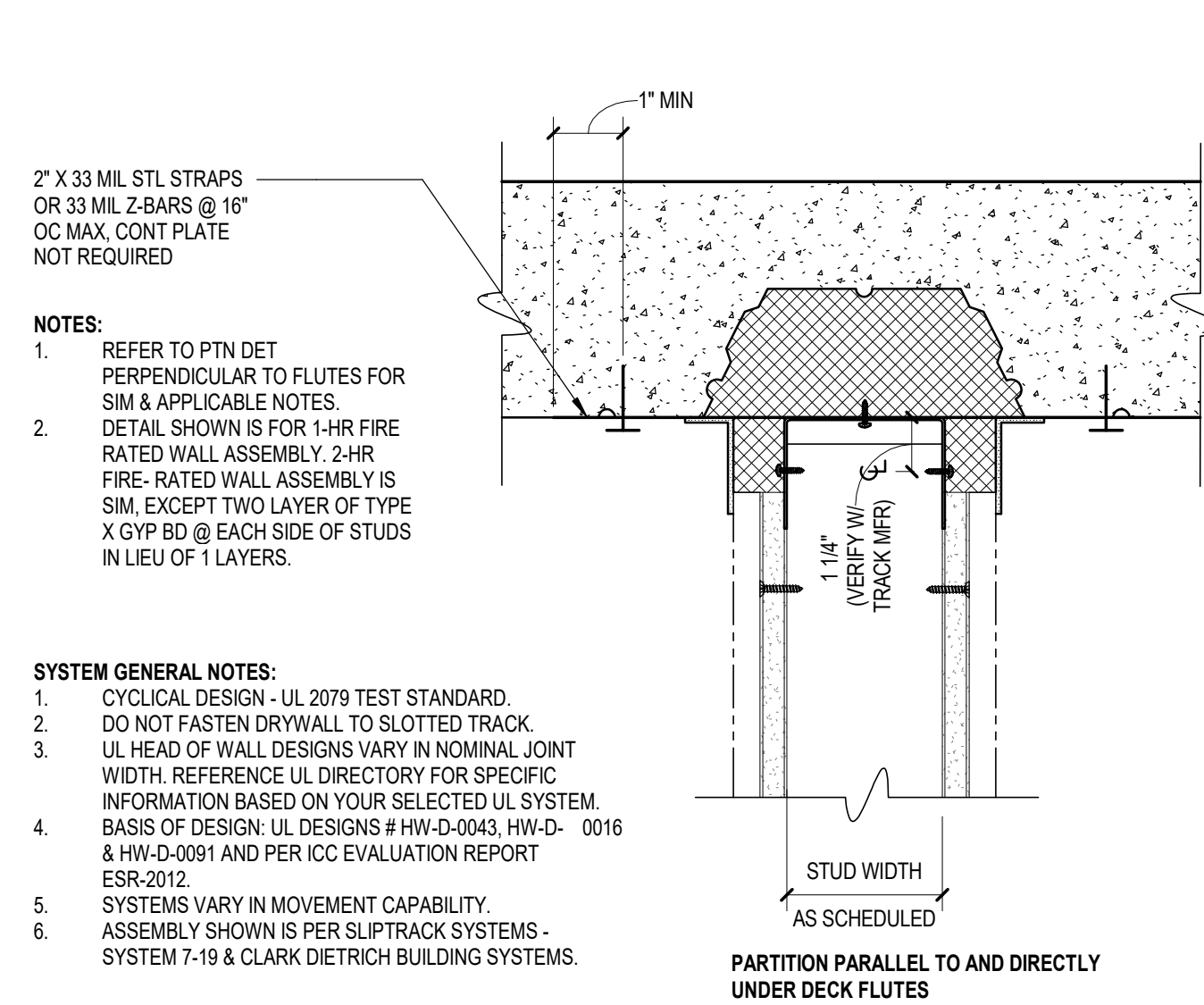
**GYP BD HEADER - ALIGNED W/ ACOUS SUSP CLG**  
3\"/>



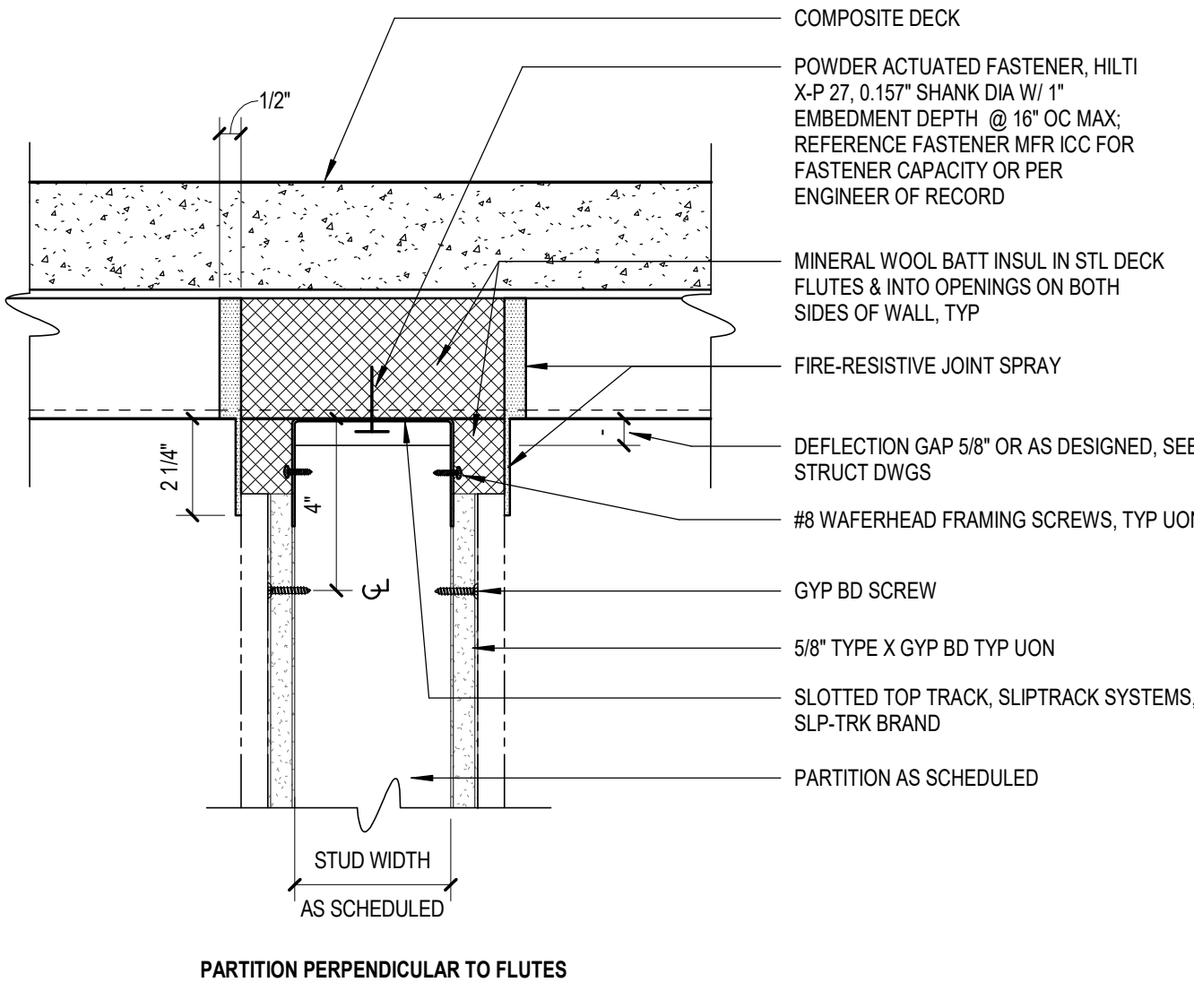
**SUSP GYP BD CLG @ PERIMETER PTN**  
3\"/>



**GRID ANGLE MOLDING W/ BERC 2 CLIP**  
1:1



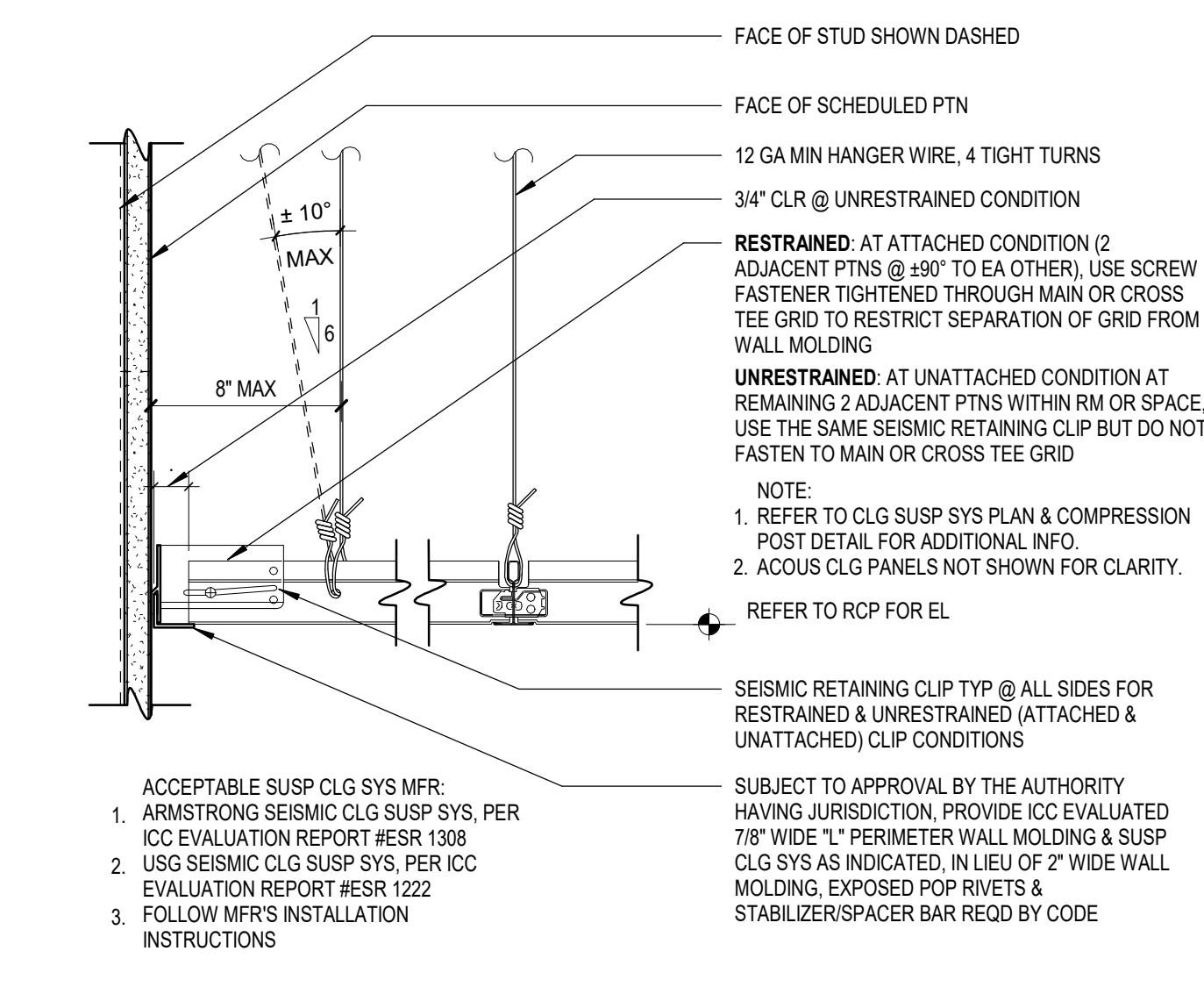
**1 & 2 HR RATED PTN HEAD @ COMPOSITE DECK**  
3\"/>



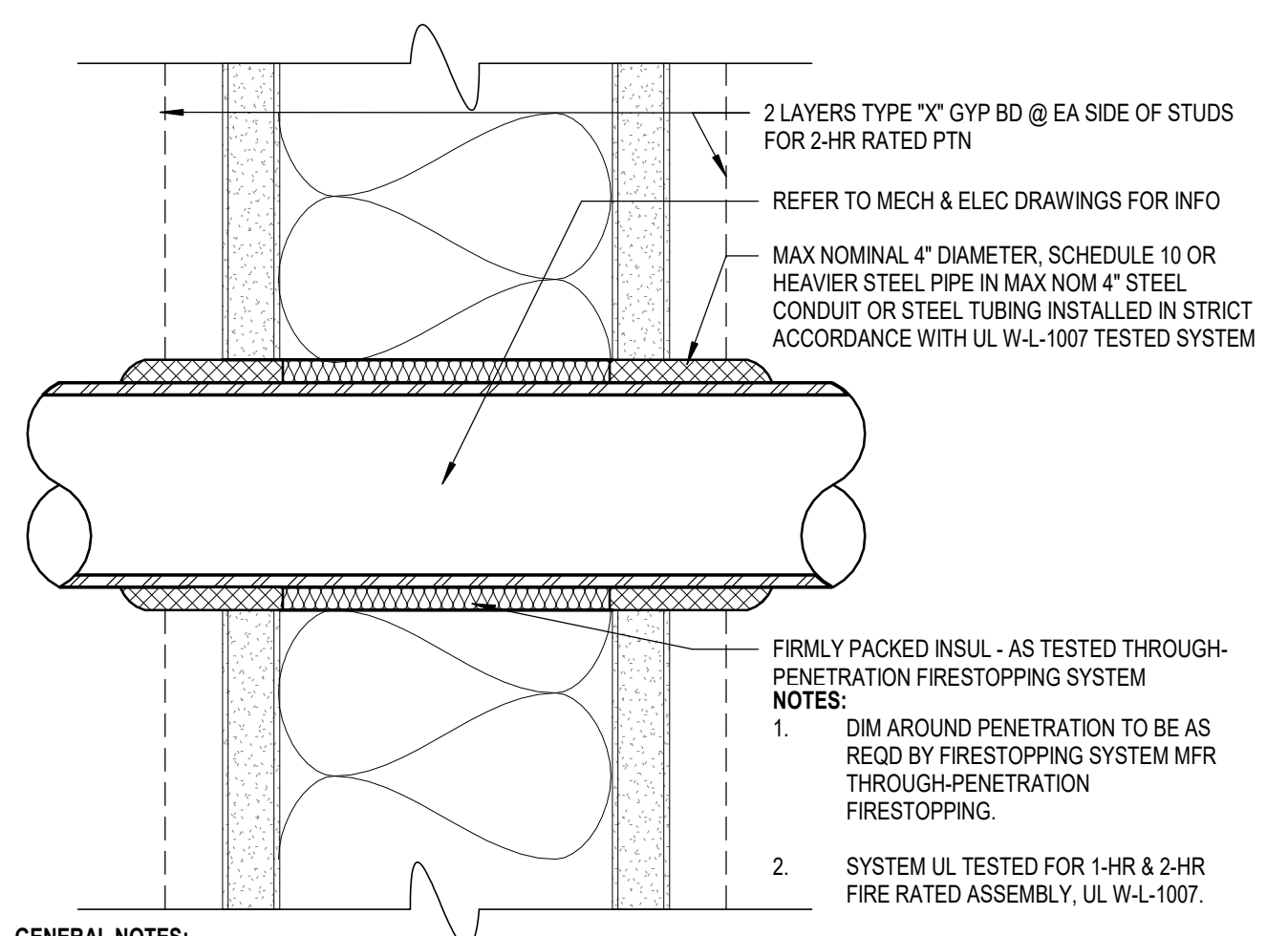
**ACOUS SUSP CLG LATERAL BRACING @ COMPRESSION POST**  
1 1/2\"/>



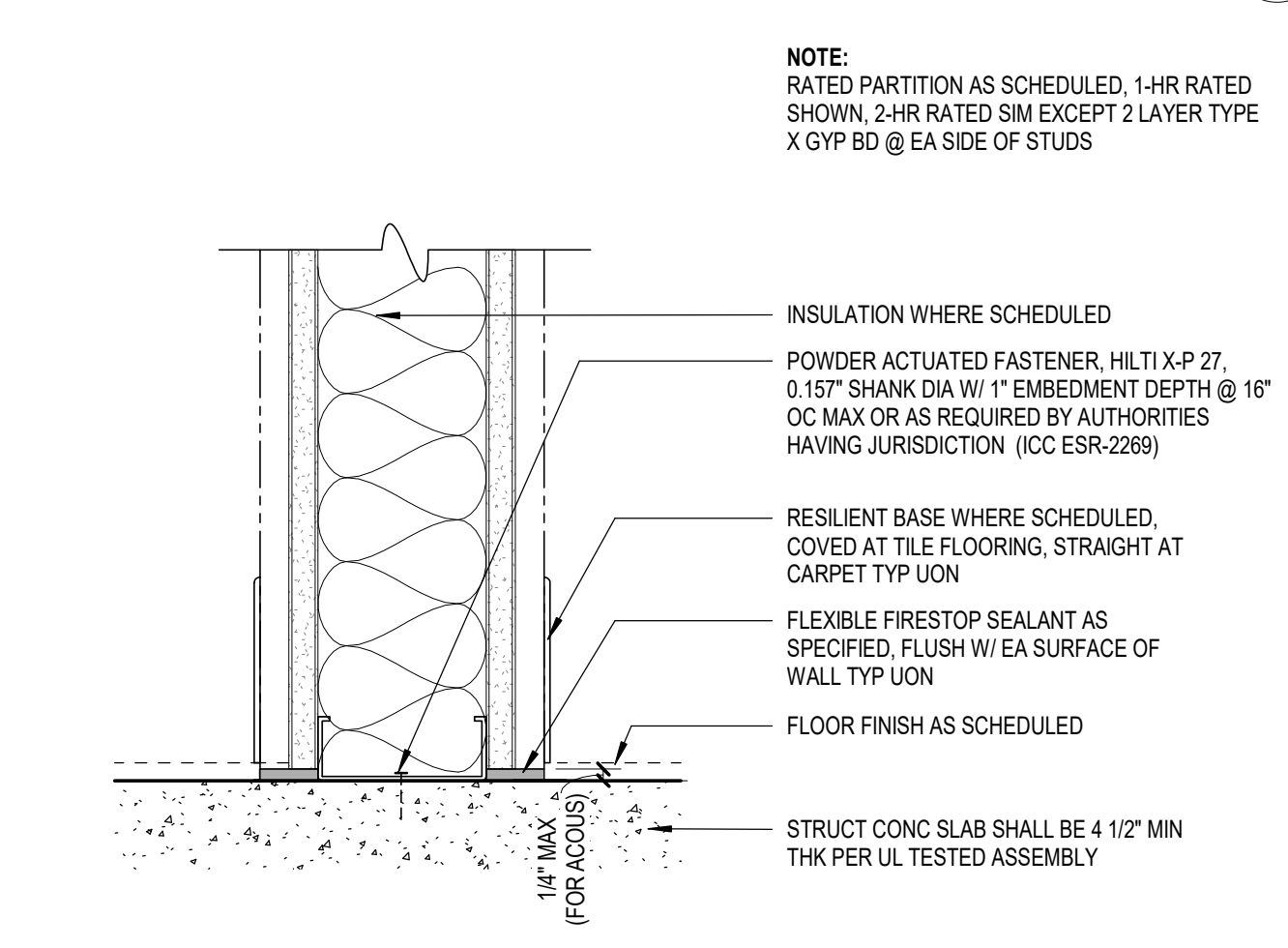
**SUSP GYP BD CLG @ PERIMETER PTN**  
3\"/>



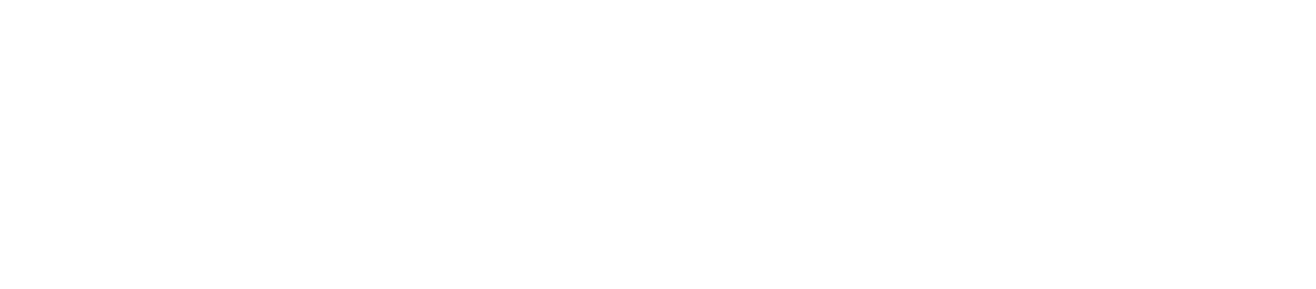
**ACOUS SUSP CLG CROSS RUNNER W/ PERIMETER MOLDING (RESTRAINED)**  
3\"/>



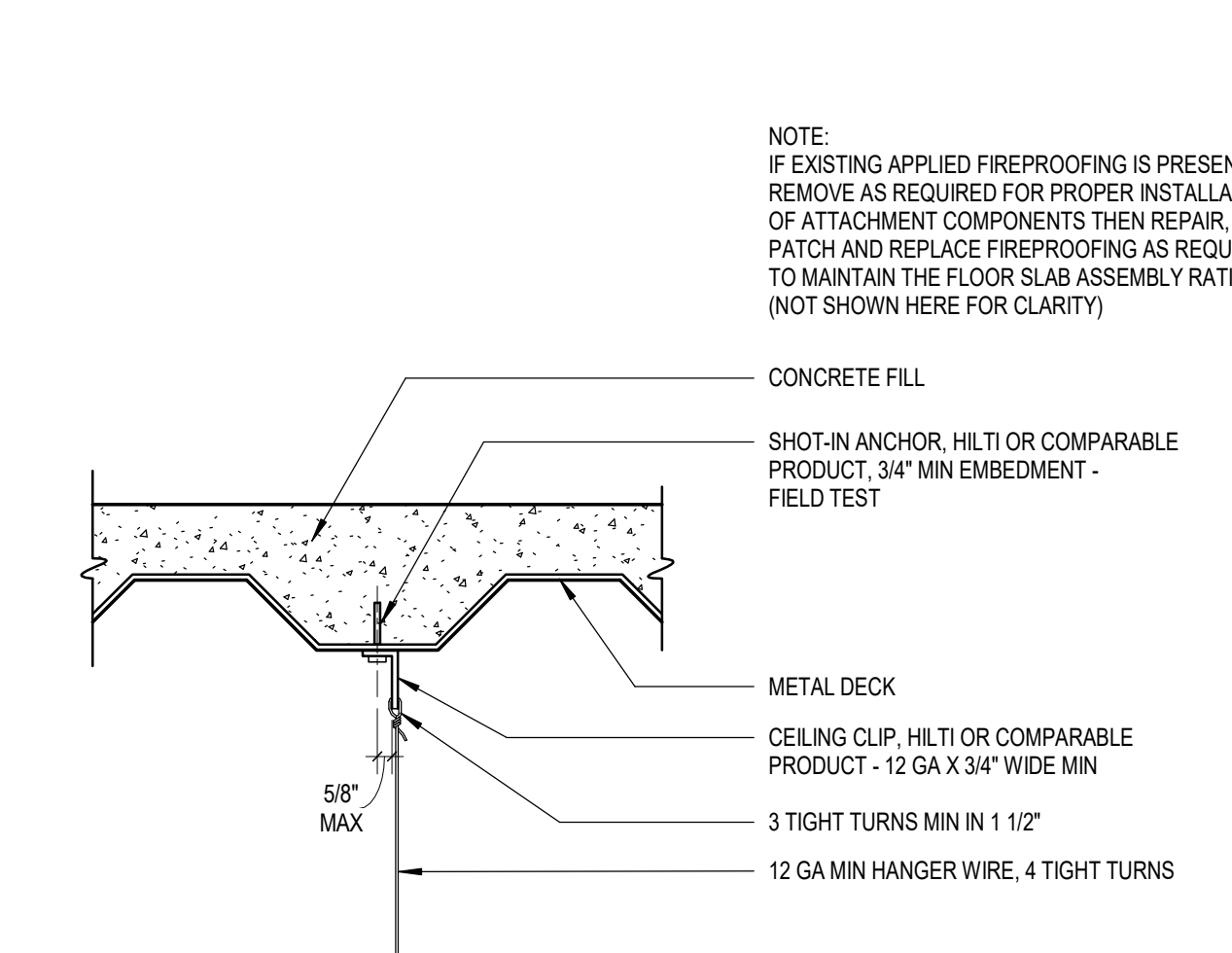
**PIPE/DUCT PENETRATION @ 1 & 2 HR RATED PTN (UL TEST) #W-L-1007**  
3\"/>



**1 & 2 HR RATED PTN SILL @ CONC FL SLAB**  
3\"/>



**HANGER WIRE @ COMPOSITE DECK**  
1 1/2\"/>



**ACOUS SUSP CEILING SEISMIC SEPARATION JOINT**  
3\"/>

**THE RISING ZONE (TRZ)**

5828 LONETREE BOULEVARD  
ROCKLIN, CA 95765

ISSUE: \_\_\_\_\_  
ISSUE DATE: \_\_\_\_\_

REVISIONS:

NO.	DESCRIPTION	DATE
1	FIRE PLAN CHECK	10/17/2023

SCALE: \_\_\_\_\_ As Indicated

PROJECT NUMBER: 2224023.00

DRAWN BY: SG

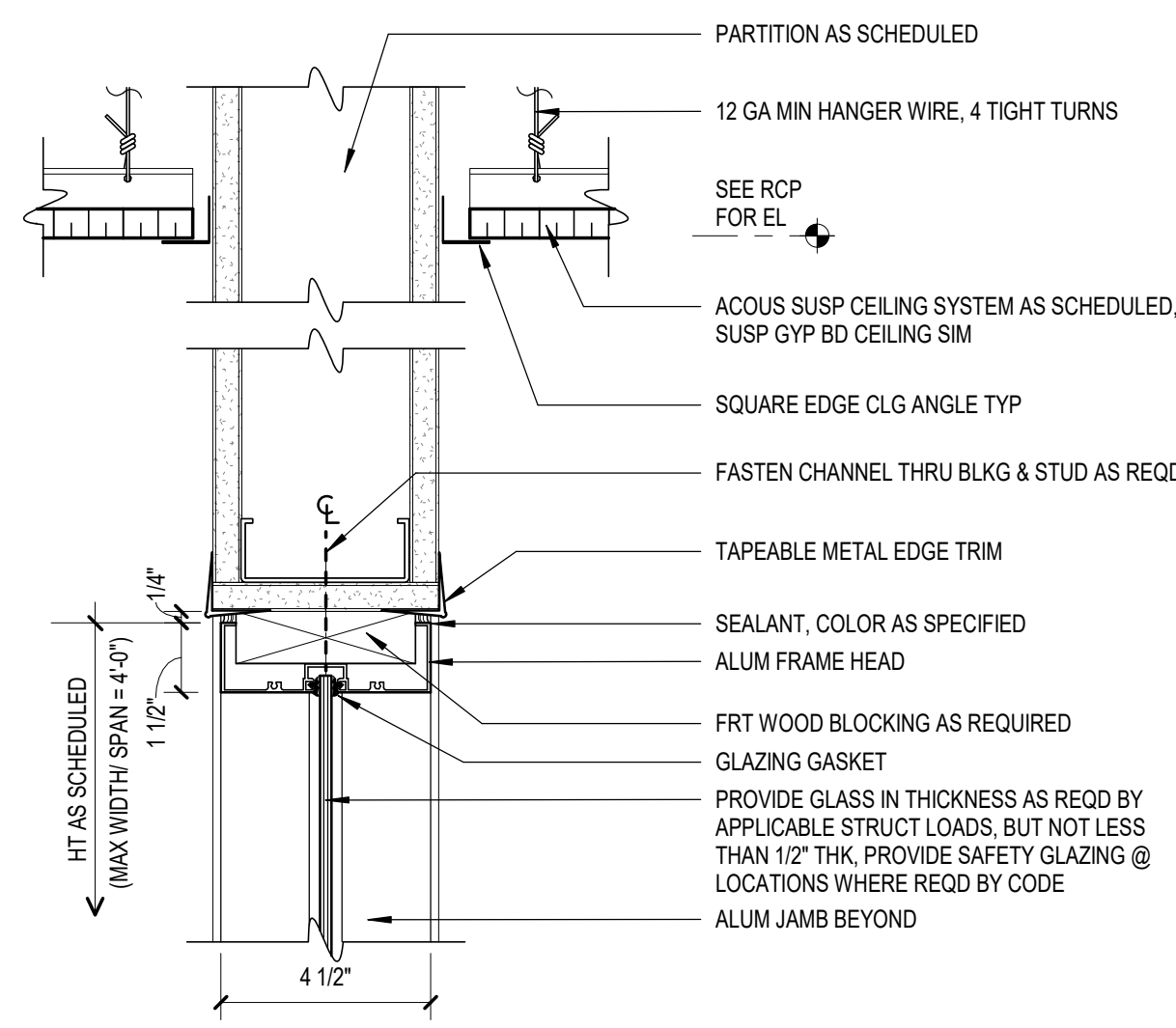
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STAMP: \_\_\_\_\_



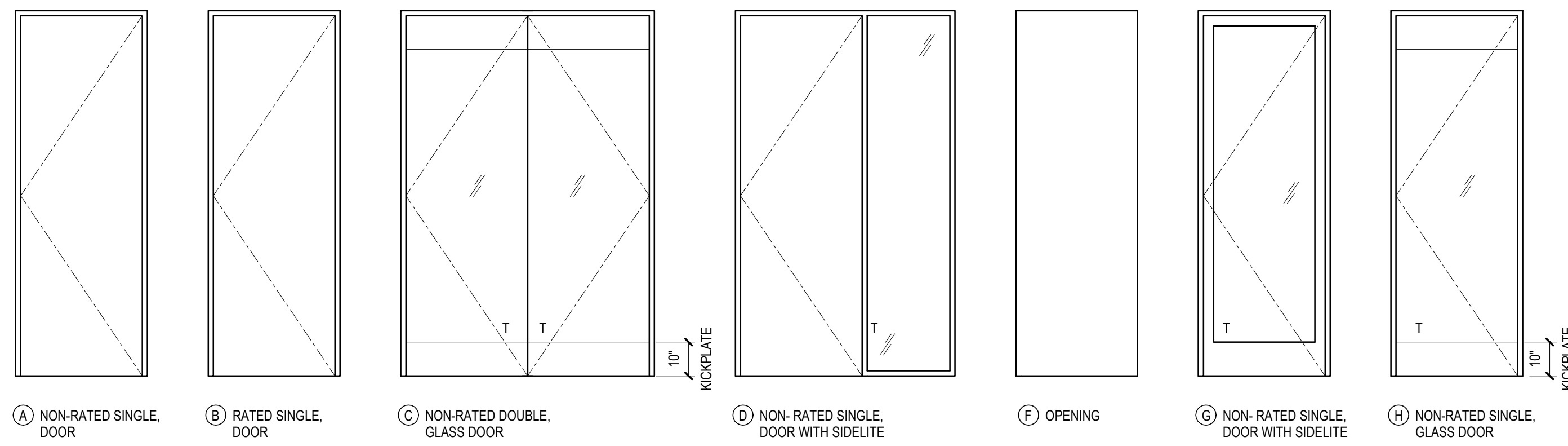
**DETAILS**

DOOR TYPES



ALUM FRAME WINDOW - HEAD @ CASED OPNG/JAMB SIM  
3\"/>

4



HARDWARE GROUPS

HARDWARE GROUP 1: EXISTING DOORS  
EXISTING TO REMAIN

HARDWARE GROUP 2: INTERIOR DOORS  
3 HINGES WITH BEARINGS  
1 DOOR PULL  
1 DOOR CLOSER  
1 OFFICE LEVER LOCKSET  
1 STOP

HARDWARE GROUP 3: INTERIOR RESTROOM DOORS  
EXISTING TO REMAIN  
1 DOOR PULL  
1 DOOR CLOSER  
1 KICKPLATE  
1 STOP  
3 SILENCER  
1 LOCKSET

HARDWARE GROUP 4: EXTERIOR DOORS  
3 HINGES WITH BEARINGS  
1 DOOR PULL  
1 DOOR CLOSER  
1 LOCKSET  
1 LOCKSET  
ELECTRICALLY ACTUATED

HARDWARE GROUP 5: INTERIOR RATED DOORS  
4 HINGE (HEAVY WEIGHT) TA2714NRP US32D MK  
1 DOOR CLOSER 351 P10 EN SA  
1 DOOR STOP 466 BLK RO  
1 KICK PLATE K1050 10\"/>

DOOR SCHEDULE

TAG	DOOR AND FRAME TYPE	WIDTH	HEIGHT	HARDWARE GROUP	RATING DOOR AND FRAME	REMARKS
E101.1	C	6'-0"	8'-0"	E	NR	EXISTING DOOR WITH PANIC HARDWARE
E101.2	B	3'-0"	8'-0"	E5	45	
E101.3	H	3'-0"	8'-0"	E2	NR	
E101.4	C	6'-0"	8'-0"	E1	NR	
E103.1	B	3'-0"	8'-0"	E	20	EXISTING DOOR WITH PANIC HARDWARE
E103.2	B	3'-0"	8'-0"	E5	45	
E113.1	A	3'-0"	8'-0"	E3	NR	
E117.3	A	3'-0"	8'-0"	E2	NR	
E131.1	A	3'-0"	8'-0"	E2	NR	



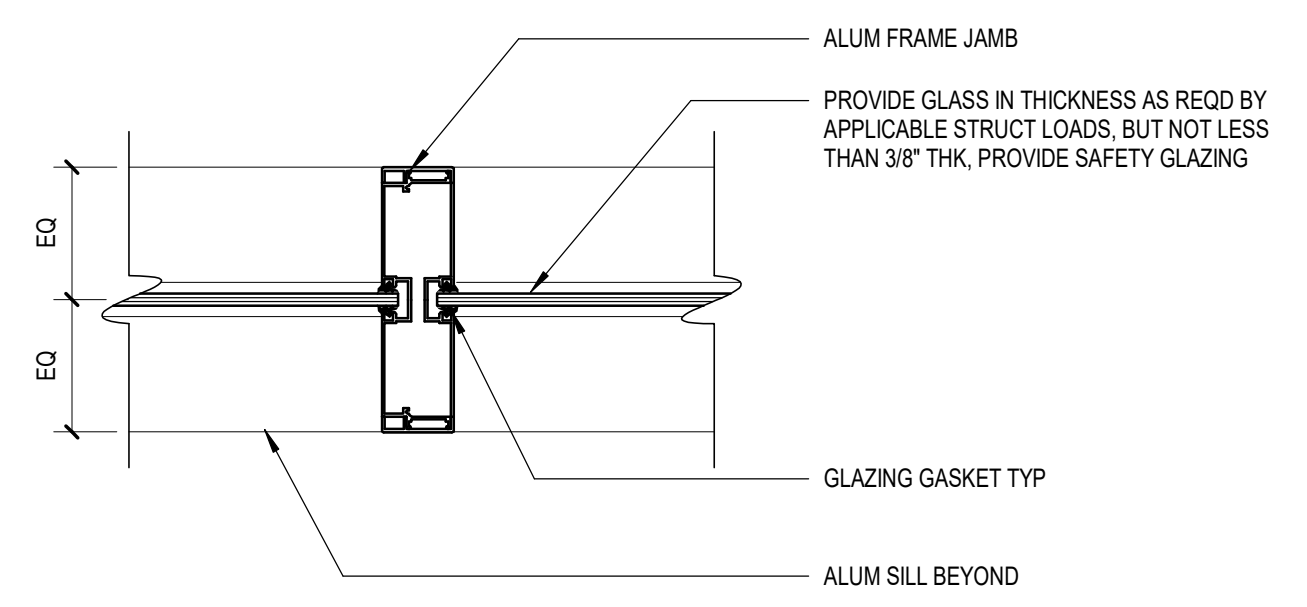
1718 3rd Street  
Suite 101  
Sacramento  
California 95811

Office  
916 449-1400

Fax  
415 449-1414

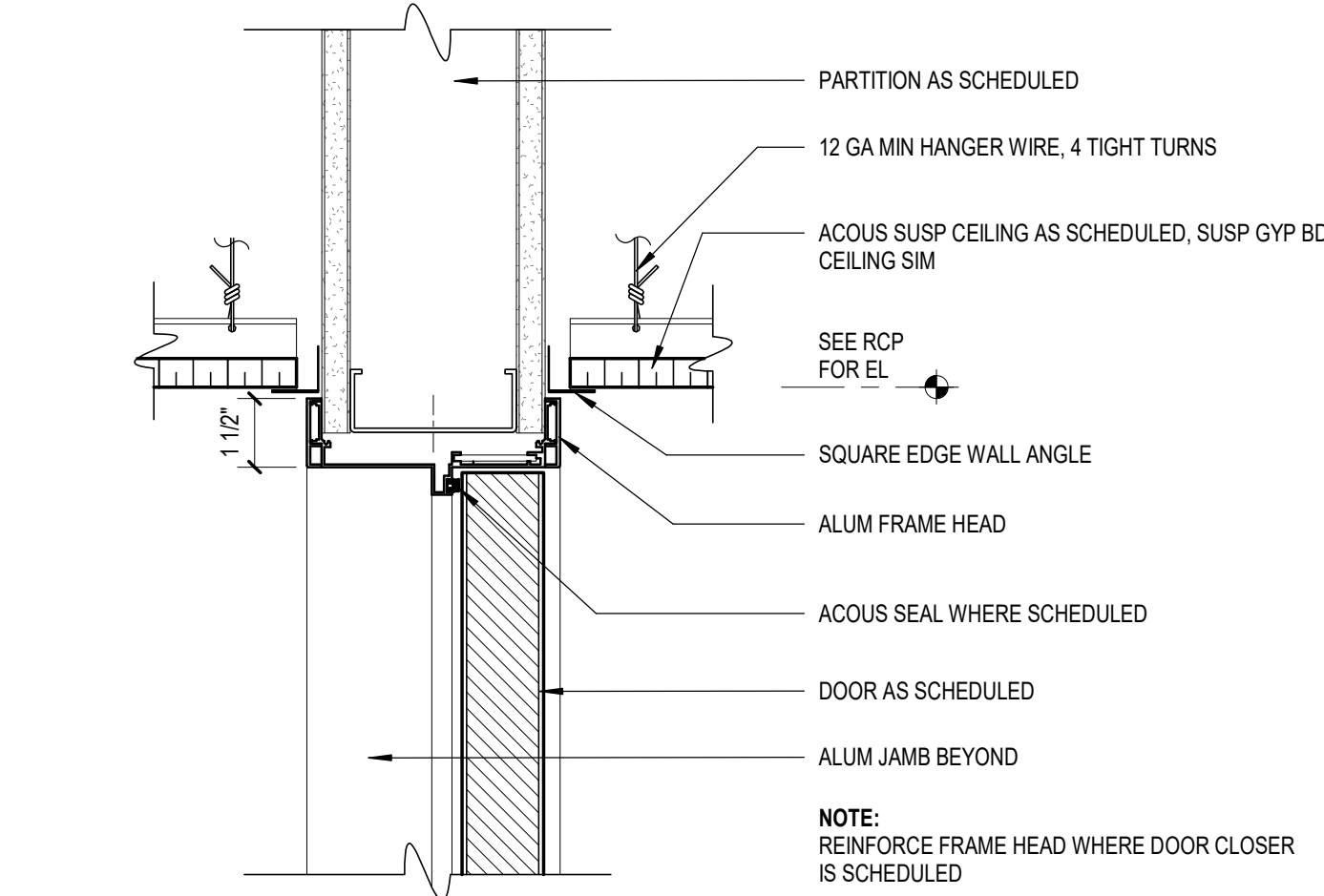
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ALUM FRAME WINDOW - JAMB @ INTERMEDIATE MULLION  
3\"/>

18

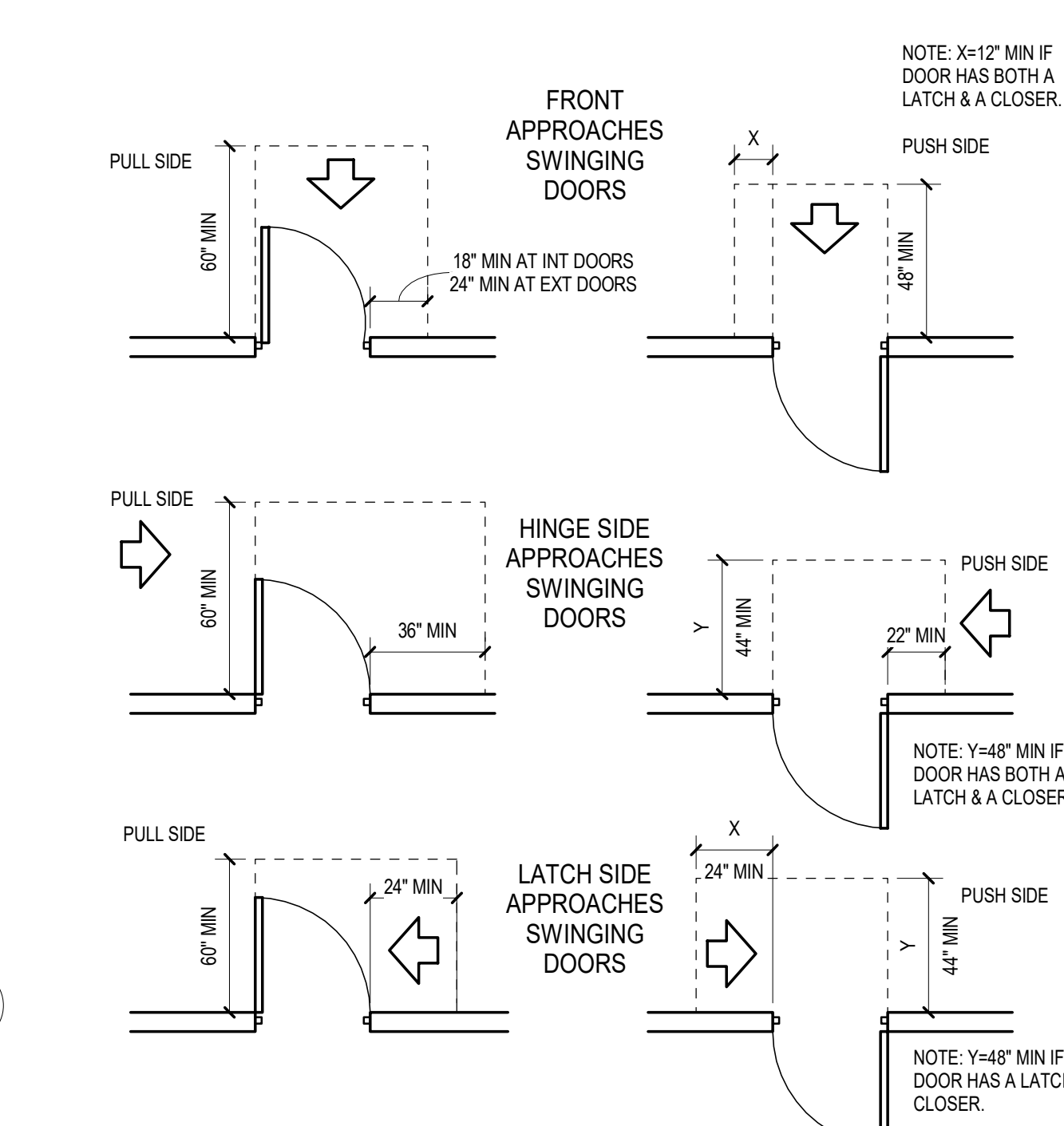


ALUM FRAME DOOR - CEILING HT HEAD @ FULL HT PTN  
3\"/>

14

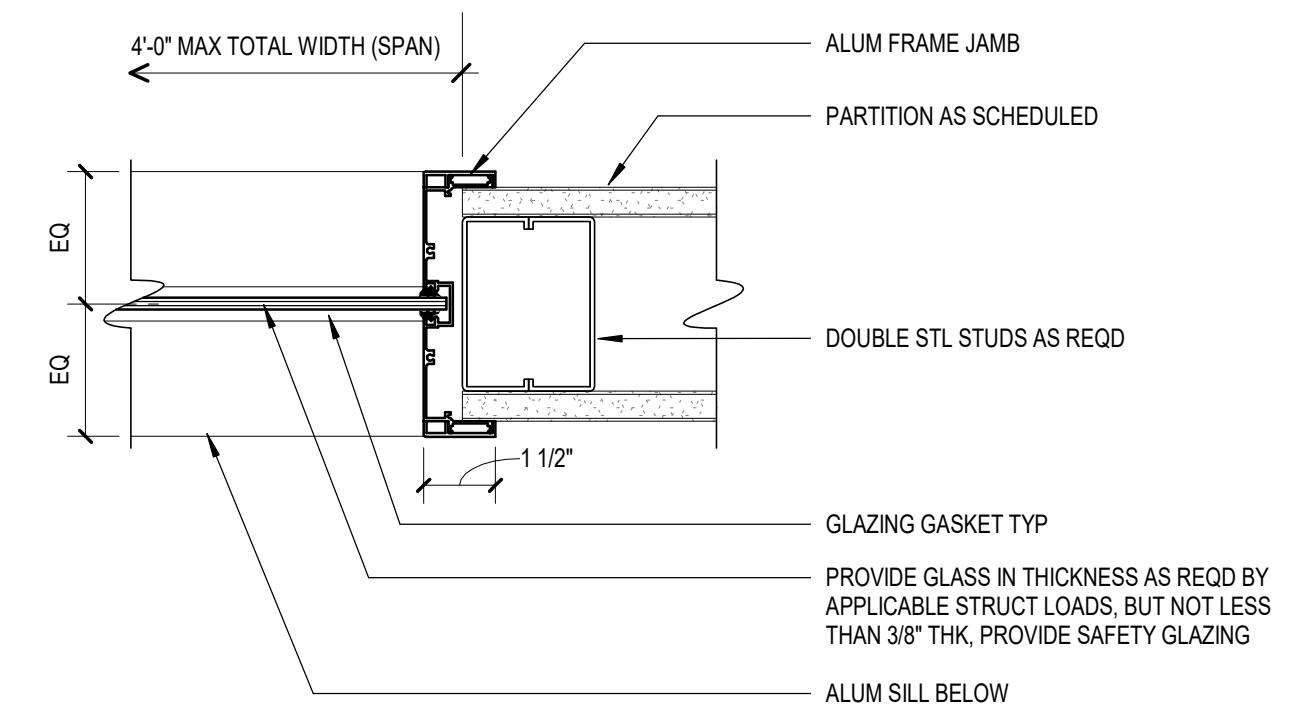
ALUM FRAME DOOR - JAMB @ PTN (HEAD SIM)  
3\"/>

10



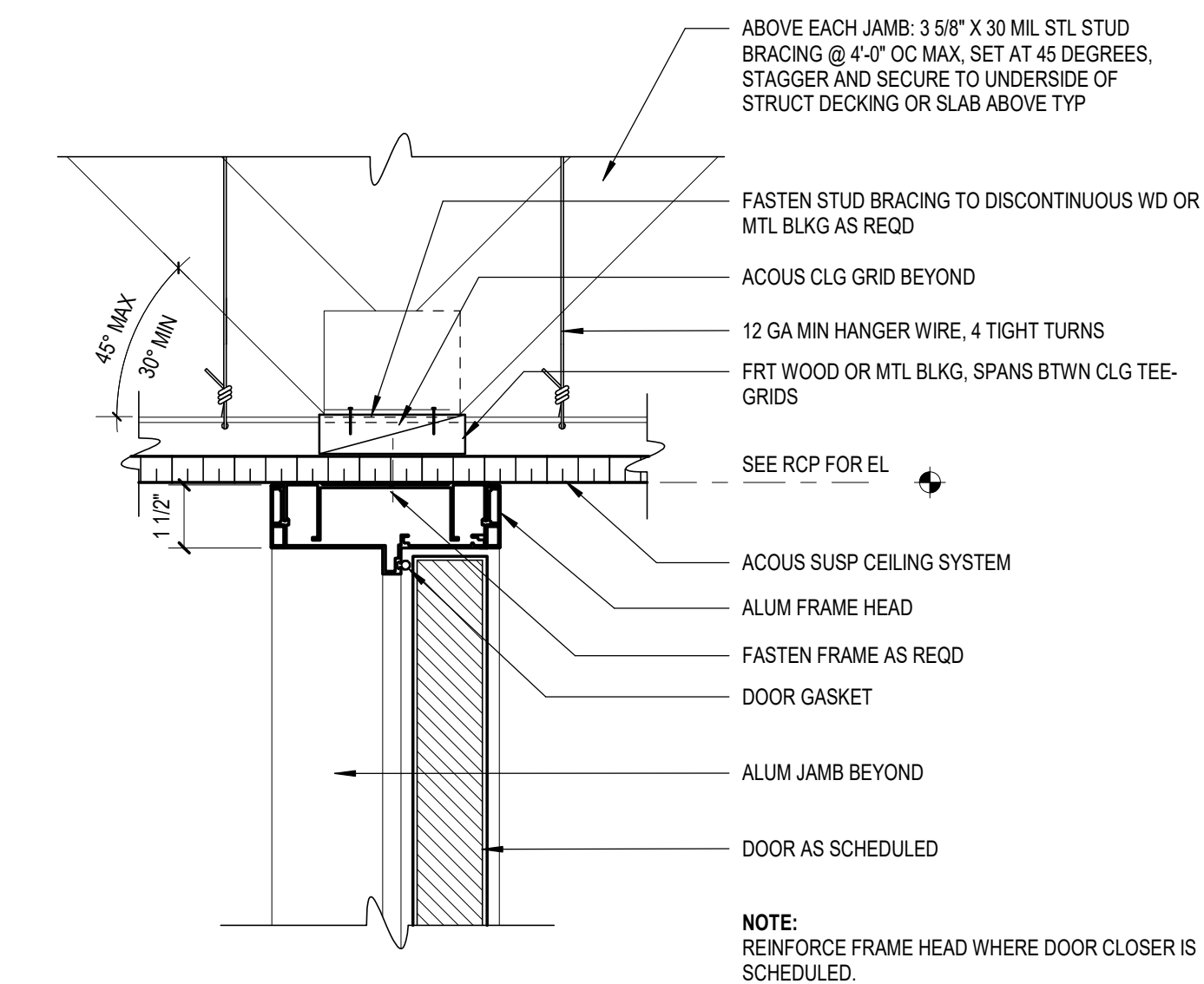
LEVEL MANEUVERING CLEARANCE AT DOORS  
1/2\"/>

6



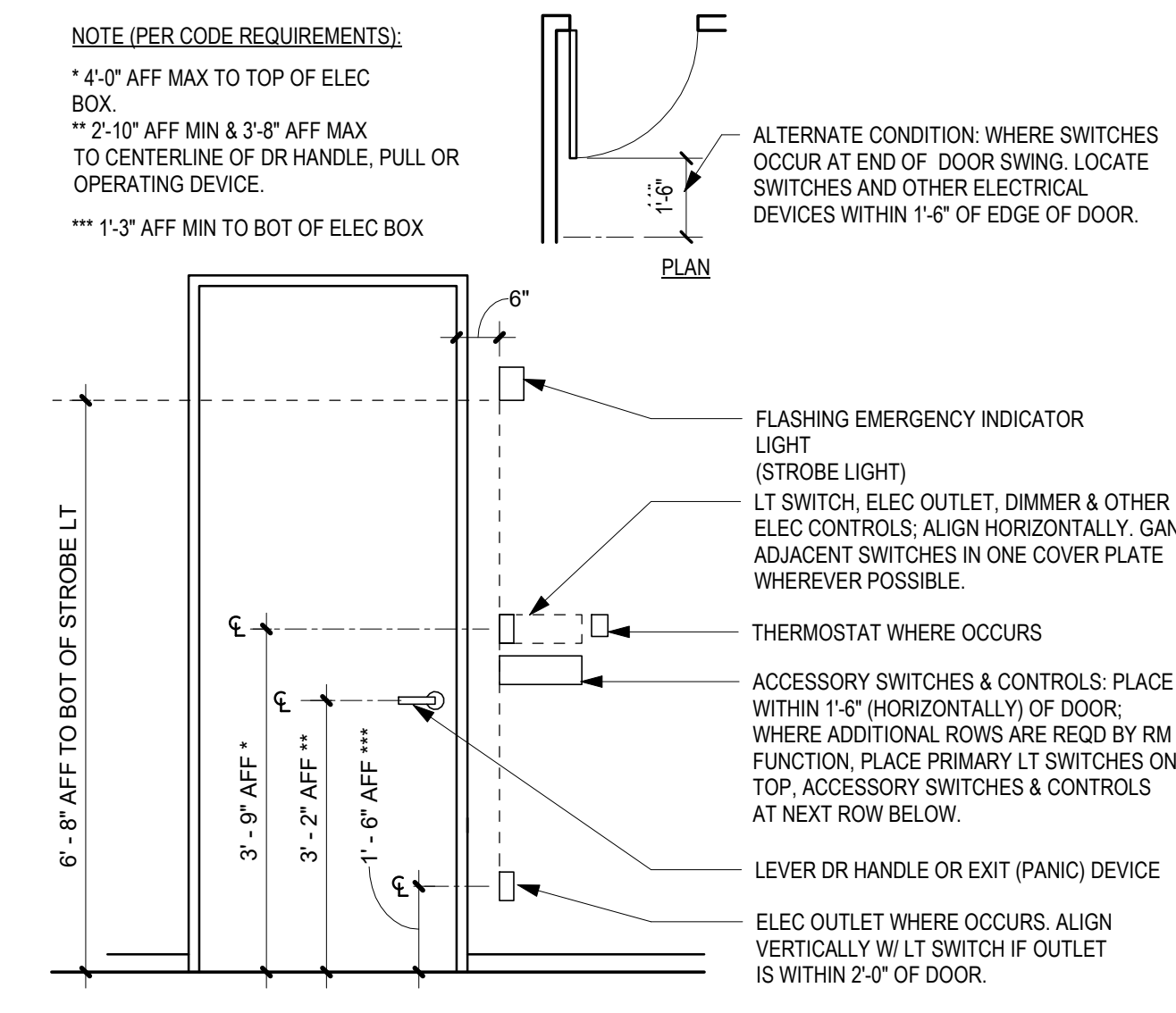
ALUM FRAME WINDOW - JAMB @ PTN  
3\"/>

19



ALUM FRAME DOOR - CEILING HT HEAD @ CEILING HT PTN  
3\"/>

15



DEVICE PLATE LOCATIONS  
1/2\"/>

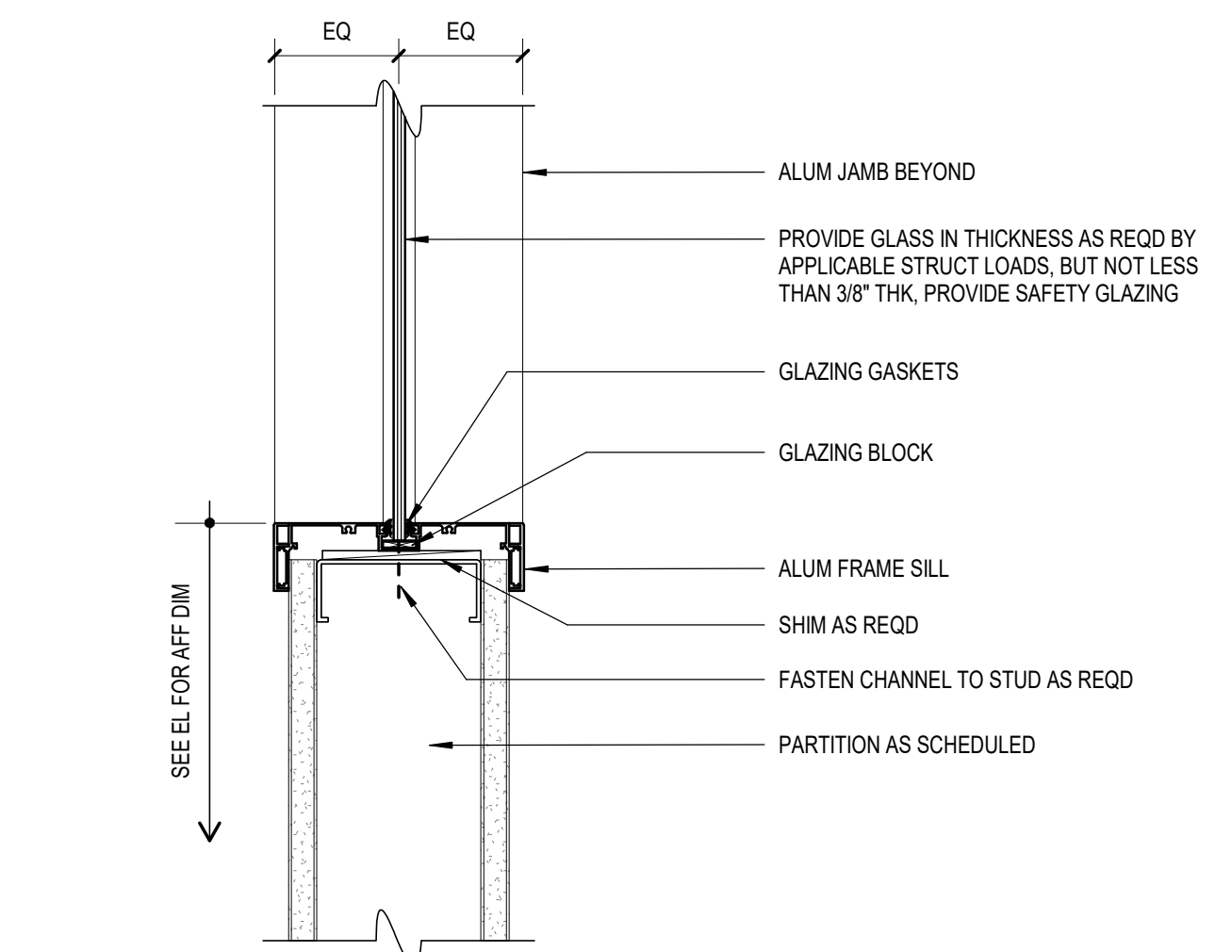
DOOR AND HARDWARE ABBREVIATIONS

ALUM	ALUMINUM	ANO	ANODIZED
CLR	CENTERLINE	CLR	CLEAR
E	EXISTING TO REMAIN	GL	GLASS
EP	EXISTING TO BE PAINTED	NR	NON-RATED
HM	HOLLOW METAL	SC	SOLID CORE
PT	PAINTED	TEMP GL	TEMPERED GLASS
STL	STEEL	WD	WOOD
TR	TRANSPARENT	R	RELOCATED

DOOR, HARDWARE & FRAME NOTES

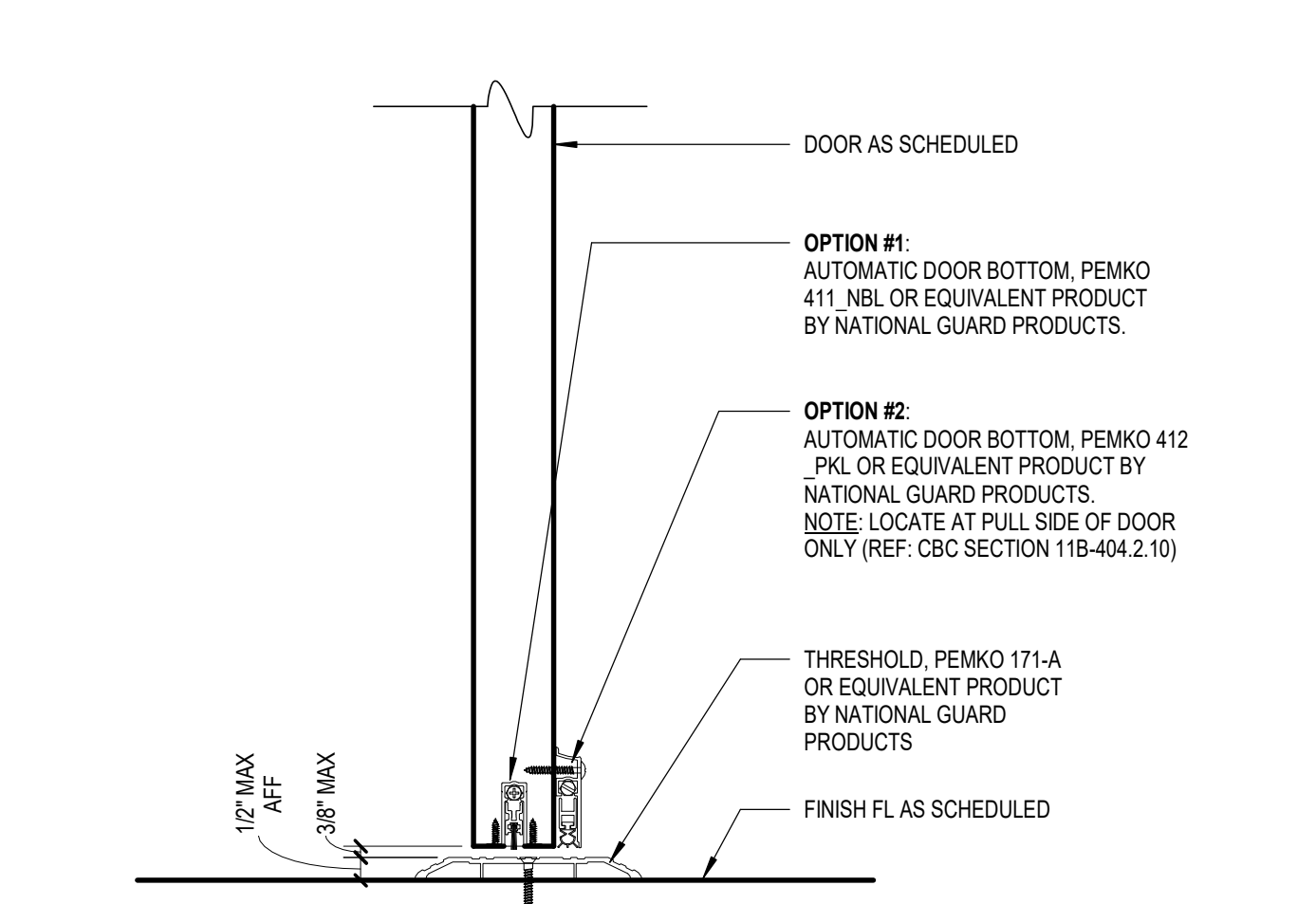
- DOOR AND FRAME TYPE NOTED AS "E" IS EXISTING TO REMAIN.
- DOOR AND FRAME TYPES "O" AND "I" ARE INTENTIONALLY OMITTED FOR CLARITY.
- ELEVATIONS OF DOOR AND FRAME TYPES INDICATE GENERAL INFORMATION OF DOORS AND FRAMES ONLY. FOR SPECIFIC INFORMATION, INCLUDING SIZES, ASSEMBLY FIRE-RATING AND DETAIL REFERENCES, REFER TO DOOR AND FRAME SCHEDULE.
- REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO INTERIOR DOOR AND WINDOW DETAIL SHEET FOR TYPICAL DOOR HARDWARE MOUNTING HEIGHTS.
- PROVIDE DOOR HARDWARE FINISH AS SCHEDULED.
- PROVIDE CERTIFICATION OF RATED DOOR ASSEMBLY WITH HARDWARE, IF REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- INSTALL HARDWARE AS REQUIRED BY CODES AND PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- COMPLY WITH SUBMITTAL REQUIREMENTS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COMPLY WITH THE SUBMITTAL REQUIREMENTS INDICATED ON THE DRAWINGS OR PROJECT MANUAL.
- INSTALL DOORS COMPLETE WITH HARDWARE FITTINGS AND ACCESSORIES AS REQUIRED FOR THE OPERATION OF THE SPECIFIC OPENINGS.
- THE MINIMUM WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, IS TO EXTEND 2'-0" MINIMUM PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 1'-6" MINIMUM FOR INTERIOR DOORS.
- PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 32" AT DOORWAYS WITH THE DOOR IN FULLY OPEN POSITION AT 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE DOOR FRAME STOP.
- AT STAIRWAY EXIT DOORS, PROVIDE A TACTILE "EXIT" SIGN, WITH RAISED LETTERS AND BRAILLE IN COMPLIANCE WITH CODES. REFER TO DETAILS.
- EXCEPT FOR AUTOMATIC AND SLIDING DOORS, PROVIDE DOORS WITH THE BOTTOM 10 INCHES SURFACE SMOOTH AND UNINTERRUPTED TO ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL ARE TO BE OPERABLE BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE THE OPENING HARDWARE.
- THE HEIGHT FROM THE TOP OF FINISH FLOOR OR SCHEDULED THRESHOLD TO THE BOTTOM OF THE DOOR IS 1/4" MAX. UNON OR IT TESTED AND APPROVED DOOR AND FRAME ASSEMBLY ALLOWING MORE THAN 1/4" HEIGHT.
- WHERE THRESHOLDS ARE SCHEDULED, THE MAXIMUM HEIGHT ABOVE THE FINISH FLOOR IS NOT TO EXCEED 1/2" CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS TO BE BEVELLED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ADJUST DOOR CLOSERS FOR THE FOLLOWING MAXIMUM OPENING EFFORTS: 5 LBS AT EXTERIOR AND INTERIOR DOORS AND 15 LBS AT FIRE DOORS.
- WHERE DOOR ASSEMBLIES INCLUDE HOLD-OPEN DEVICES, CONNECT THE HOLD-OPEN DEVICE TO A SMOKE DETECTOR IN THE CEILING OR THE LIFE SAFETY SYSTEM.
- WHERE POCKETED DOORS (DOORS FLUSH WITH ADJACENT PARTITIONS IN THE OPEN POSITION) OR PRE-ASSEMBLED DOOR AND FRAME UNITS (SUCH AS "TOTAL DOORS" OR "THE RITE DOOR") ARE SCHEDULED, REFER TO FLOOR PLANS AND/OR DOOR DETAILS FOR CLEAR WIDTH REQUIREMENTS.
- TOUCH-UP AND REPAIR EXISTING DOORS AND FRAMES TO MATCH THE NEW ONES WITHIN THE PROJECT AREA.
- SHOP-FABRICATE FIRE-RATED DOORS, WITH DOOR DIMENSIONS TO SUIT FIELD CONDITIONS, ALLOWING FOR THE FINISH FLOORING MATERIAL. DO NOT TRIM FIRE-RATED DOORS IN THE FIELD. COMPLY WITH NFPA 80 FOR FIRE-RATED DOORS.
- COORDINATE DOOR FRAME JAMB THROAT DIMENSION WITH THE PARTITION WIDTH. NEW DOORS ARE TO BE SHOP-FINISHED. FIELD MEASURE DOOR OPENINGS SCHEDULED AS FLOOR TO CEILING (FULL HT) DOORS TO ASSURE PROPER FIT.
- FOLLOW MANUFACTURER'S GUIDELINES FOR QUANTITIES AND SIZES OF HINGES BASED ON DOOR SIZE AND WEIGHT.
- LOCATE CLOSERS ON THE ROOM OR NON-PUBLIC SIDE OF THE DOORS (ON THE "PULL SIDE") AND LOCATE CLOSERS ON THE "PUSH SIDE" (PARALLEL ARM) AT DOORS SWINGING OUT FROM ROOMS, UNLESS OTHERWISE NOTED.
- PROVIDE FLOOR STOPS WITH RISERS AT CONDITIONS SCHEDULED WITH CARPET FLOORING, UNLESS OTHERWISE NOTED.
- WHERE SECURITY HARDWARE IS SCHEDULED, COORDINATE WORK WITH THE OWNER'S (OR TENANT'S) SECURITY HARDWARE CONSULTANT AND /OR VENDOR.
- PROVIDE LOCKSETS WITH INTERCHANGEABLE CORES AND BUILDING STANDARD KEYWAYS AS COORDINATED WITH THE BUILDING ENGINEER.

7



ALUM FRAME WINDOW - SILL @ RAISED PTN  
3\"/>

20

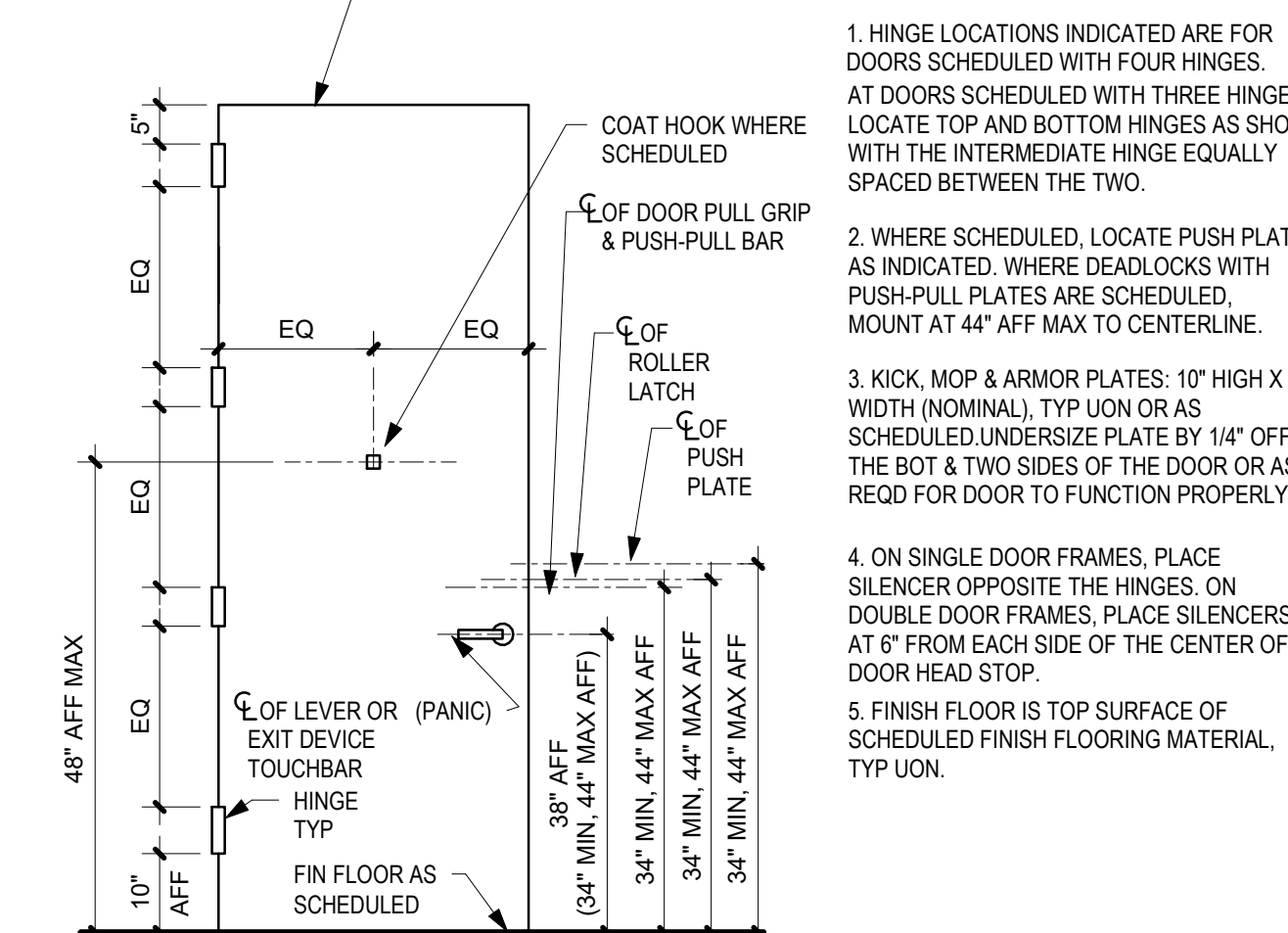


DOOR THRESHOLD & AUTO DR BOT @ ACOUS PTN  
3\"/>

16

MANEUVERING CLEARANCE AT DOORWAYS  
1/4\"/>

12



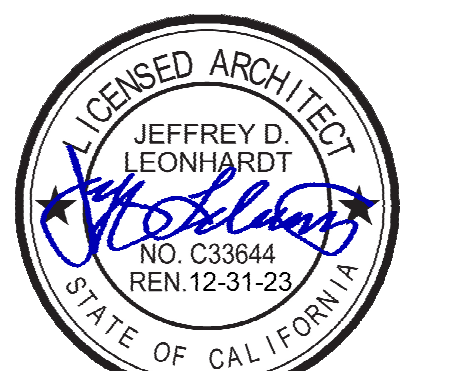
DOOR HARDWARE MOUNTING LOCATIONS  
1/2\"/>

8

DOOR, WINDOW AND HARDWARE SCHEDULE W/ DETAILS

SHEET NUMBER:

A9.3



**MECHANICAL GENERAL NOTES**

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS AMENDED AND ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION: 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ENERGY CODE (CEC), 2022 CALIFORNIA GREEN BUILDING CODE (CGC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND ANY OTHER LOCAL CODES, ORDINANCES, REGULATIONS, OR AUTHORITIES HAVING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. THESE CODES SHALL DETERMINE MINIMUM REQUIREMENTS FOR MATERIALS, METHODS, AND LABOR PRACTICES NOT OTHERWISE DEFINED IN THESE SPECIFICATIONS.
- CONTRACTOR TO EXAMINE THE PROPOSED WORK SITE AND BECOME FAMILIAR WITH ALL JOB CONDITIONS AFFECTING THE WORK SHOWN. CONTRACTOR(S) SHALL FIELD-VERIFY SITE CONDITIONS INCLUDING LOCATIONS AND SIZES OF EXISTING PIPING, VALVES, CLEANOUTS, WATER MAINS, GAS METERS, ETC., AND RISER SHALL BE BASED ON ACTUAL FIELD CONDITIONS. NO ADDITIONAL ALLOWANCE WILL BE GRANTED DUE TO LACK OF KNOWLEDGE OF SITE CONDITIONS. ACCEPT SITE AND COMPLETE RESPONSIBILITY FOR THE CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.
- DRAWINGS INDICATE DIAGRAMMATICALLY THE ARRANGEMENT OF PRINCIPAL APPARATUS, PIPING, DUCTWORK, AND OTHER MATERIAL. FOLLOW DRAWING AS CLOSELY AS POSSIBLE IN ORDER TO ACHIEVE A NEAT INSTALLATION WHILE STILL WORKING AROUND ANY OBSTRUCTIONS. INSPECT SITE CONDITIONS AFFECTING THE WORK AND PROVIDE FITTINGS AND ACCESSORIES AS REQUIRED TO MEET CONDITIONS WHETHER SHOWN OR NOT.
- IT IS NOT THE INTENTION OF THE PLANS AND SPECIFICATIONS TO COVER ALL INCIDENTALS REQUIRED TO PROVIDE COMPLETE AND FULLY-OPERATIONAL SYSTEMS. THE CONTRACTOR IS TO FURNISH ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, MISCELLANEOUS SERVICES, ETC., REQUIRED TO ACCOMPLISH THIS RESULT. ANYTHING WHICH MAY BE REASONABLY CONSIDERED AS A NECESSARY PART OF THE INSTALLATION SHALL BE INCLUDED, WHETHER SPECIFICALLY SHOWN OR MENTIONED OR NOT. ENGINEER WILL PROVIDE INTERPRETATIONS UPON REQUEST.
- DEFINITIONS:
  - WORK: LABOR AND MATERIALS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
  - FURNISH: OBTAIN, COORDINATE, SUBMIT THE NECESSARY DRAWINGS, DELIVER TO THE JOBSITE IN NEW CONDITION AND GUARANTEE.
  - PROVIDE: FURNISH AND INSTALL.
  - CONNECT: BRING SERVICE TO THE EQUIPMENT AND MAKE FINAL ATTACHMENTS INCLUDING NECESSARY PIPE FITTINGS, DUCTWORK, TRANSITIONS, ETC.
  - CONCEAL: HIDDEN FROM SIGHT IN CHASES, FURRED SPACES, SHAFTS, ABOVE CEILING, EMBEDDED IN CONSTRUCTION, IN CEILING SPACES, OR BURIED.
  - EXPOSED: NOT INSTALLED UNDERGROUND OR CONCEALED ABOVE.
  - PERFORMANCE: CONTRACTOR SHALL PERFORM ALL WORK SPECIFIED, INDICATED, AND REQUIRED UNLESS OTHERWISE NOTED, INCLUDING FINAL CONNECTIONS, IN A WORKMANLIKE MANNER USING WORKERS SKILLED AND EXPERIENCED IN THE TRADE. PIPES, FIXTURES, EQUIPMENT, GRILLES, REDUCERS, ETC. TO BE INSTALLED LEVEL, SQUARE, OR CENTERED, ETC. TO GIVE A NEAT APPEARANCE.
  - FULL FUNCTION: PROVIDE ALL MINOR ITEMS NECESSARY FOR A COMPLETE AND FULLY FUNCTIONAL INSTALLATION.
- CONTRACTOR SHALL CONFIRM ALL SITE VOLTAGES BEFORE BIDDING AND ORDERING EQUIPMENT. REIMBURSE ELECTRICAL CONTRACTOR, AT NO CHARGE TO CLIENT, FOR ELECTRICAL CONTRACTOR'S COST INCURRED DUE TO SUBSTITUTION OF MECHANICAL EQUIPMENT HAVING ELECTRICAL REQUIREMENTS DIFFERING FROM SITE CONDITIONS.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES OF OPERATION, MAINTENANCE, AND PREVENTATIVE MAINTENANCE MANUALS FOR EACH MODEL AND TYPE OF PLUMBING AND MECHANICAL EQUIPMENT.
- CONTRACTOR SHALL PROVIDE EVIDENCE OF LICENSING, BONDING, AND INSURANCE, AND PROVIDE OTHER NECESSARY ADMINISTRATIVE FUNCTIONS FOR CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROCURE AND PAY FOR ALL REQUIRED PERMITS AND SERVICE CHARGES.
- COORDINATION: CONFORM TO GENERAL CONSTRUCTION CONTRACT DOCUMENTS EXCEPT AS MODIFIED HEREIN. REFER ALSO TO STRUCTURAL AND ELECTRICAL CONTRACT DOCUMENTS. COORDINATE ALL WORK WITH OTHER TRADES.
- CUTTING AND PATCHING: CUT AND PATCH AS REQUIRED. CUT OR WELD STRUCTURAL MEMBERS ONLY WITH APPROVAL OF A STRUCTURAL ENGINEER. PATCHING SUBJECT TO ACCEPTANCE BY OWNER.
- SAW CUT TRENCHES IN SLAB SHALL BE FULLY RESTORED AND REINFORCED TO PREVENT SAGGING. ROUGHEN SAW CUT EDGES PRIOR TO RE-POURING CONCRETE.
- COORDINATE ALL WORK WITH OTHER TRADES TO PROVIDE A COMPLETE INSTALLATION. CONNECT ALL EQUIPMENT FURNISHED BY OTHERS AS REQUIRED. INSTALL ALL WORK TO CLEAR ARCHITECTURAL AND STRUCTURAL MEMBERS. INSTALL ALL ABOVE GRADE (OVERHEAD) PIPING AS HIGH AS PRACTICAL.
- RESTORE ALL DAMAGE RESULTING FROM YOUR WORK AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINISHED WITH WORK. ADJUST, CLEAN, REPAIR, OR REPLACE PRODUCTS, WHICH HAVE BEEN DAMAGED.
- GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR MINIMUM FROM DATE OF FILING NOTICE OF COMPLETION.
- PROVIDE FLASHING AND COUNTER FLASHING FOR ALL WALL AND ROOF PENETRATIONS.
- ADJUSTMENTS: MAKE MINOR ADJUSTMENTS TO WORK WHERE REQUESTED BY OWNER, WHEN SUCH ADJUSTMENTS ARE NECESSARY TO PROPER OPERATION AND WITHIN THE INTENT OF THE CONTRACT.
- MATERIALS AND EQUIPMENT: PROVIDE NEW, UL-LISTED, COMMERCIAL-GRADE MATERIALS, DEVICES, EQUIPMENT, AND FIXTURES SUITABLE FOR THE ENVIRONMENT WHERE INSTALLED. REUSE EXISTING ONLY WHEN COMPLIANT WITH THE CONTRACT DOCUMENTS, IN GOOD CONDITION, AND APPROVED BY THE ENGINEER.
- INSTALLATION: INSTALL ALL MATERIALS, EQUIPMENT, AND SYSTEMS IN FULL ACCORD WITH MANUFACTURER'S INSTRUCTIONS, CLEARANCES, ETC.
- LAYOUT: INSTALL ALL PIPING AND DUCTWORK TO PRESENT A NEAT AND ORDERLY APPEARANCE. RUN ALL LINES PARALLEL WITH BUILDING CONSTRUCTION AS MUCH AS POSSIBLE. MAINTAIN HEADROOM, EQUIPMENT CLEARANCE, AND GRADIENT WHERE REQUIRED. ALLOW FOR EXPANSION & CONTRACTION.
- ACCESS DOORS: PROVIDE ACCESS DOORS OR PANELS FOR ALL VALVES, CLEANOUTS, DAMPERS, CONTROLS, DEVICES, AND OTHER ITEMS REQUIRING INSPECTION OR MAINTENANCE.
- START-UP: THOROUGHLY TEST/DEMONSTRATE PROPER OPERATION OF ALL SYSTEMS AND EQUIPMENT MODIFIED, FURNISHED OR INSTALLED UNDER THIS CONTRACT.
- WARRANTY: ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED FREE FROM ALL MECHANICAL, ELECTRICAL, AND WORKMANSHIP DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE PREMISES CAUSED BY LEAKS AND/OR BREAKS IN PIPES AND FIXTURES INSTALLED UNDER THIS CONTRACT, AS WELL AS ANY DAMAGE FROM LEAKS VIA ROOF PENETRATIONS MADE AND SEALED UNDER CONTRACTOR'S SCOPE.
- PATCHING & PAINTING: RESTORE ANY DAMAGE RESULTING FROM THE WORK AND LEAVE PREMISES CLEAN. ADJUST, CLEAN, REPAIR, AND/OR REPLACE ANY ITEMS DAMAGED BY THE WORK. RESTORE WALL AND ROOF PENETRATIONS TO MATCH SURROUNDING WALL OR ROOF, RESPECTIVELY.
- AIR BALANCE: PROVIDE SERVICES NECESSARY TO VERIFY AIR QUANTITIES AND BALANCE FOR ESTABLISHED QUANTITIES AND UNIFORM TEMPERATURE IN THE SPACES SERVED. ADJUST ALL DAMPERS AND ELEMENTS IN GRILLES AND DIFFUSERS FOR PROPER AIR DISTRIBUTION AND TO MINIMIZE DRAFTS. COMPLY WITH SMACNA MANUAL FOR THE BALANCING AND ADJUSTMENT OF AIR DISTRIBUTION SYSTEMS.
- DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARD.
- MATERIALS EXPOSED WITHIN DUCTS OR PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 50, WHERE TESTED AS A COMPOSITE PRODUCT IN ACCORDANCE WITH ASTM E84 OR UL 723.
- ALL SUPPLY BRANCH DUCTS SHALL HAVE MANUAL VOLUME BALANCING DAMPERS WITH ACCESSIBLE LOCKING TYPE QUADRANT.
- PROVIDE CONICAL FITTINGS FOR ALL ROUND TO RECTANGULAR DUCTWORK CONNECTIONS.
- PROVIDE TURNING VANES FOR RECTANGULAR DUCTWORK AT ALL HARD 90 DEGREE ELBOWS.
- DUCTWORK SHALL MEET UL 181, CLASS I AND NFPA 90A AND 90B. DUCT SHALL BE INSTALLED STRAIGHT AND SUPPORT SPACING SHALL BE IN STRICT ACCORDANCE WITH "SMACNA HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE". FLEXIBLE DUCTWORK TO BE 5' MAX LENGTH, AND SHALL BE EXTENDED TO THE FULLEST POSSIBLE LENGTH, IN ORDER TO MINIMIZE PRESSURE DROP IN THE DUCT. EXCESS DUCT LENGTHS SHALL BE SHORTENED TO PREVENT UNNECESSARY CHANGES IN DIRECTIONS. WHERE AIRFLOW CHANGES IN DIRECTION ARE UNAVOIDABLE, USE ADJUSTABLE SHORT RADIUS SHEET METAL ELBOWS TO MAKE DIRECTION CHANGES. CONNECTIONS AT METAL DUCTS OR COLLARS SHALL BE MADE BY DRAW BANDS AND PRESSURE-SENSITIVE TAPE WITH THE DRAW BANDS TIGHTENED AS RECOMMENDED BY THE MANUFACTURER WITH AN ADJUSTABLE TENSIONING TOOL. USING PRESSURE-SENSITIVE TAPE ALONE WITHOUT DRAW BANDS IS NOT ACCEPTABLE. ALL PRESSURE-SENSITIVE TAPES AND MASTICS USED SHALL COMPLY WITH UL 181.
- HVAC EQUIPMENT SHALL NOT BE OPERATED DURING CONSTRUCTION WITHOUT A FILTER INSTALLED TO PROTECT THE EMPLOYER COIL. AFTER ALL CONSTRUCTION IS COMPLETED, ALL CONSTRUCTION FILTERS SHALL BE REMOVED AND NEW FILTERS SHALL BE INSTALLED.
- HVAC EQUIPMENT SHALL BE CERTIFIED BY THE MANUFACTURER FOR COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS.

**MECHANICAL CALGREEN NOTES**

- 5.504.1 THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.
- 5.504.3 AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.
- 5.504.5.3 IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY THAT PROVIDES AT LEAST A MERV OF 13.
- 5.505.1 BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1202 AND CHAPTER 14.
- 5.506.1 FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 1201.7 OF THE CALIFORNIA MEET CODE, CCR, TITLE 24, PART 6 AND CHAPTER 4 OF CCR, TITLE 8 OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT.
- 5.506.2 FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA ENERGY CODE, CCR, TITLE 24, PART 6, SECTION 120.1(C)(4).
- 5.508.1 INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.
- 5.508.1.1 CHLOROFLUOROCARBONS (CFCs). INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCs.
- 5.508.1.2 HALONS. INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALONS.
- 5.410.4.5 PROVIDE THE BUILDING OWNER WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM PRIOR TO FINAL INSPECTION.
- 5.410.4.3.1 TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1.
- 5.410.4.3.1 BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVICING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHOULD BE BALANCED IN ACCORDANCE WITH THE PROCEDURES DEFINED BY NATIONAL STANDARDS LISTED IN SECTION 5.410.4.3.1.

**GRILLE SCHEDULE**

TAG	TYPE	MANU.	MODEL	MOUNTING LOCATION	FRAME	REMARKS
CE-1	CEILING EXHAUST	LIMA	ALEC	CEILING	LAY IN	24"x24" MODULE, SEE PLANS FOR NECK SIZE
CE-2	NOT USED	-	-	-	-	-

**EXHAUST FAN SCHEDULE**

TAG	MANU.	MODEL	MOUNTING TYPE	SERVES	CFM	E.S.P.	RPM	ELECTRICAL				SONES	WEIGHT (LBS.)	REMARKS	
								V-8-Hz	WATTS	AMPS	BHP				
EF-1	COOK	ACEB 70C2B	ROOFTOP	LOCKER ROOM AND COLD PLUNGE	200	0.25"	1689	115-1-60	-	4.4	0.16	1/6	11.9	15	MOUNTED ON CURB- CAN TO OUTSIDE DURING NORMAL BUSINESS HOURS. PROVIDE BACKDRAFT DAMPER FOR EXHAUST FANS.
EF-2	PANASONIC	FV-1115W2	CEILING	LOCKER ROOM	100	0.1"	625	115-1-60	6.9	0.24	-	-	<0.3	10.1	FAN TO OPERATE DURING NORMAL BUSINESS HOURS. PROVIDE BACKDRAFT DAMPER FOR EXHAUST FANS.

**MECHANICAL SHEET INDEX**

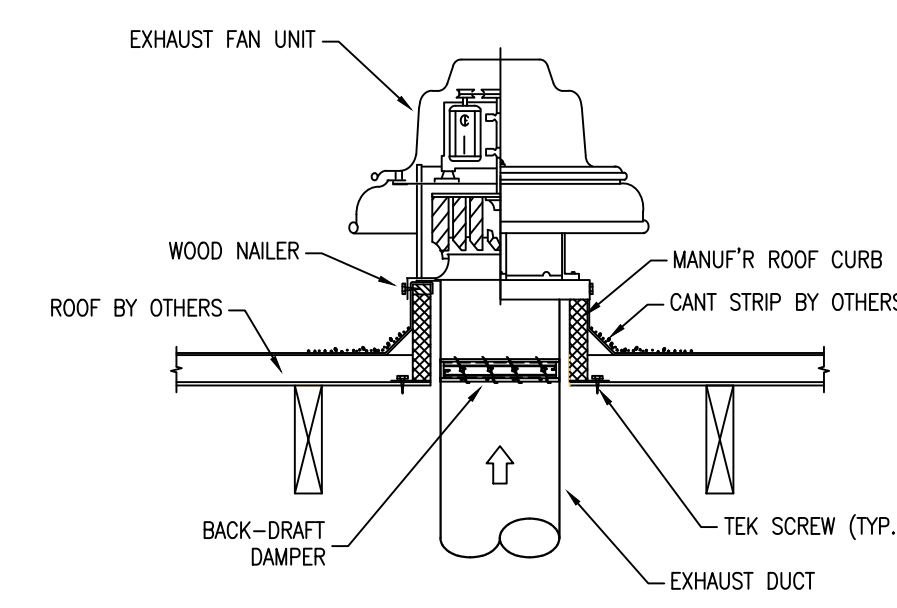
- M0 MECHANICAL SCHEDULES & GENERAL NOTES
- M1 MECHANICAL PLAN - 1ST FLOOR
- M2 MECHANICAL PLAN - ROOF

**MECHANICAL SCOPE OF WORK**

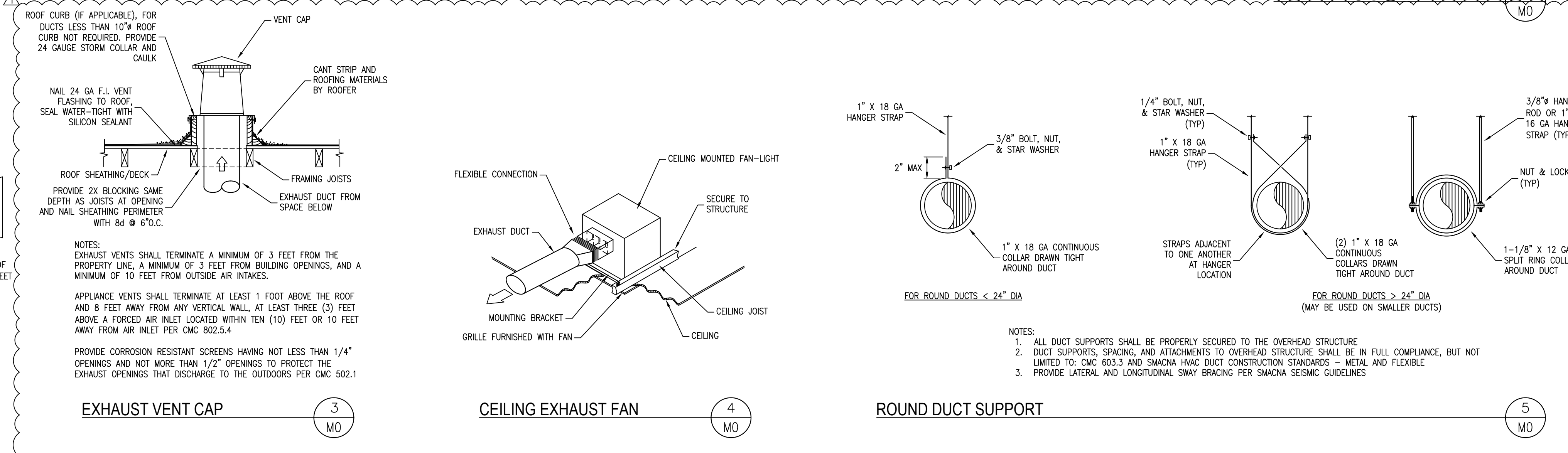
- REUSE OF EXISTING PACKAGED UNITS AND ALL ASSOCIATED DUCTWORK, DAMPERS, AND GRILLES
- INSTALLATION OF NEW EXHAUST SYSTEM AND ALL ASSOCIATED DUCTWORK, DAMPERS, AND GRILLES FOR LOCKER ROOMS AND COLD PLUNGE ONLY

**MECHANICAL LEGEND**

- POC
- GAS POC
- COLD WATER POC
- CONDENSATE POC
- POWER AND CONTROL WIRING
- SWITCH
- THERMOSTAT
- CO2 SENSOR
- FLEX DUCT
- DAMPER
- DUCT REDUCER
- CEILING DIFFUSER - T-BAR
- CEILING DIFFUSER - HARDLID
- SIDE/SPIRAL DIFFUSER/RETURN
- SLOT DIFFUSER/RETURN
- CEILING RETURN - T-BAR
- CEILING RETURN - HARDLID
- EXHAUST GRILLE - T-BAR
- EXHAUST GRILLE - HARDLID
- CEILING FIRE-SMOKE DAMPER
- FIRE-SMOKE DAMPER
- SUPPLY AIR
- RETURN AIR
- EXHAUST AIR
- DIAMETER
- AIR CONDITIONING
- ON CENTER
- CUBIC FEET PER MINUTE
- FROM ABOVE, TO BELOW
- FROM BELOW, TO ABOVE
- FIRE DAMPER
- FIRE SMOKE DAMPER
- GAUGE
- GALLONS PER MINUTE
- HORSEPOWER
- BRAKE HORSEPOWER
- MAXIMUM / MINIMUM
- NOT TO SCALE
- OUTSIDE AIR
- RETURN AIR
- SUPPLY AIR
- SHEET METAL SCREW
- TYPICAL
- UNLESS OTHERWISE NOTED



**ROOF MOUNTED EXHAUST FAN**



THE RISING ZONE TENANT IMPROVEMENT

5828 LONETREE BLVD,  
ROCKLIN CA 95765

MECHANICAL SCHEDULES & GEN. NOTES

M0

DATE: 11-08-2023

DESCRIPTION: PC COMMENTS

REVISION: 1

JOB NO: 23157

DRAWN: [Signature]

CHECKED: [Signature]

DATE: 06-30-2023

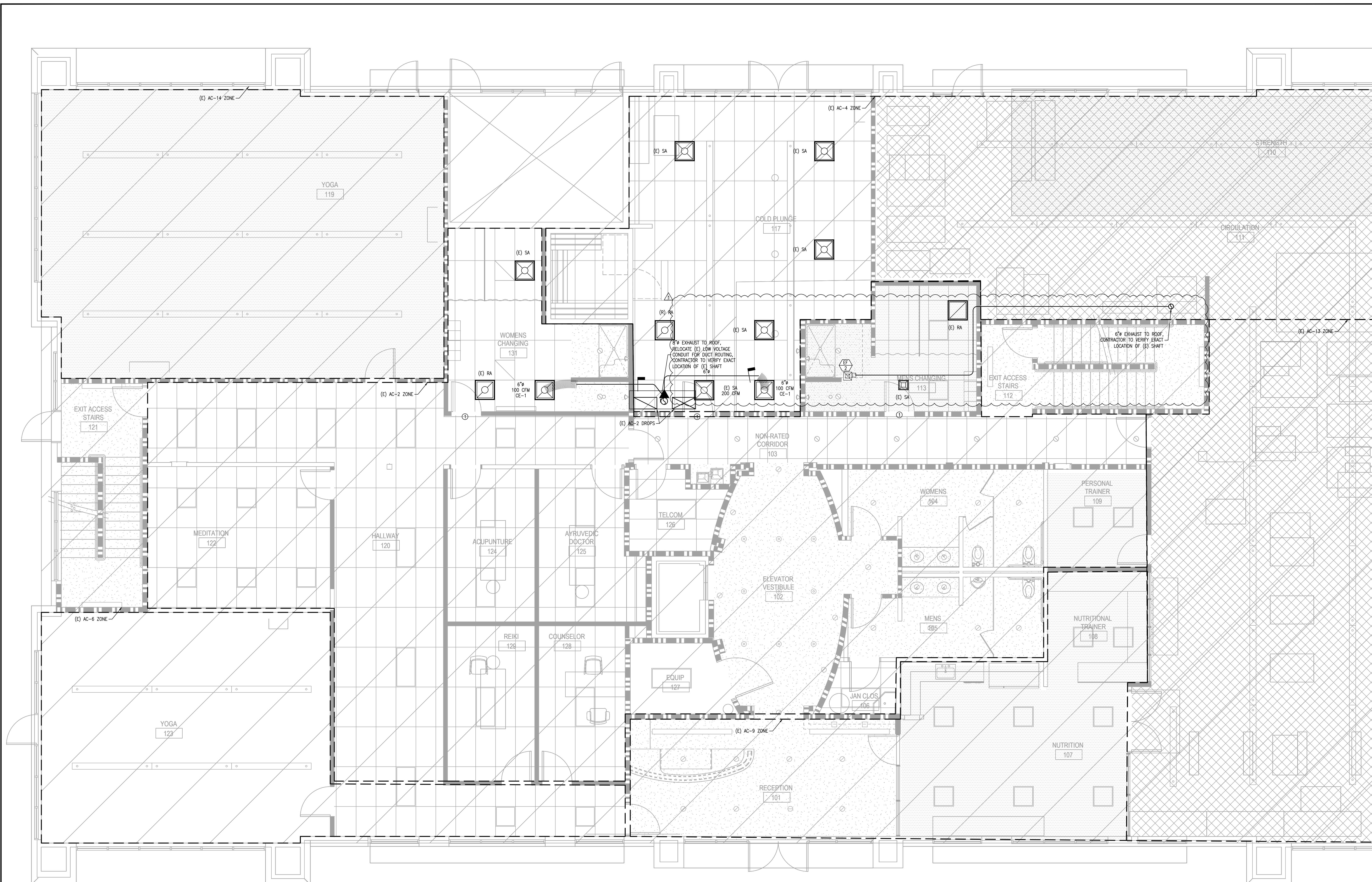
ISSUED FOR: PERMIT

DATE: 11-06-2023

REGISTERED PROFESSIONAL ENGINEER  
STEPHEN P. WISNIEWSKI  
No. MS2225  
EXP. 12-31-2024  
STATE OF CALIFORNIA

**OPTIMIZEDENERGY**  
& FACILITIES CONSULTING, INC.  
5734 Lonepine Boulevard Rocklin, CA 95765  
Office: (916) 606 5518 www.oefcinc.com





- SHEET NOTES:**
- (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  - ALL EQUIPMENT/CONTROLS AND DUCTWORK/FITTINGS SHOWN ARE (N) U.O.A.
  - HVAC EQUIPMENT SHALL BE PERMANENTLY IDENTIFIED AS TO THE AREA OR SPACE SERVED BY THE EQUIPMENT PER CMC 303.6
  - ALL DUCTWORK PENETRATIONS TO THE EXTERIOR OF BUILDING SHALL BE CORROSION-RESISTANT AND PROTECTED FROM INTRUSION BY WATER, INSECTS, ETC.
  - REUSE (E) DUCTWORK AS MUCH AS POSSIBLE. FIELD VERIFY SIZES, LOCATIONS, AND ADJUST WORK AS REQUIRED AROUND EXISTING CONDITIONS. IF REUSING (E) DUCTWORK, CONCEALED DUCTWORK TO BE INSULATED WITH MINIMUM R-4.2, AND SHALL BE PERMITTED TO BE FLEX DUCT
  - PROVIDE FIRE STOPPING ASSEMBLY PROTECTION FOR DUCT PENETRATIONS OF RATED ASSEMBLIES. FIRE STOP RINGING SHALL MATCH RATED ASSEMBLY BEING PENETRATED

DATE	11-06-2023
DESCRIPTION	PC COMMENTS
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JOB NO	23157
DRAWN	NAME
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DATE	06-30-2023



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 5734 Lonepine Boulevard Rocklin, CA 95765  
 Office: (916) 606-5518 www.oefcinc.com

- KEY NOTES:**
- Ⓢ UNDERCUT DOOR FOR EXHAUST MAKEUP AIR

**A MECHANICAL PLAN - FLOOR**  
 SCALE: 1/4"=1'-0"



**THE RISING ZONE TENANT IMPROVEMENT**  
 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

SHEET TITLE  
**MECHANICAL PLAN FLOOR**

SHEET NO.  
**M1**

- SHEET NOTES:**
- (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  - ALL EQUIPMENT/CONTROLS AND DUCTWORK/FITTINGS SHOWN ARE (N) U.O.A.
  - FRESH AIR INLETS SHALL BE A MINIMUM 10' FT CLEARANCE FROM ALL EXHAUST, FUE, AND PLUMBING OUTLETS, UNLESS INSTALLED 3 FT OR MORE BELOW OUTLETS
  - ALL DUCTWORK PENETRATIONS TO THE EXTERIOR OF BUILDING SHALL BE CORROSION-RESISTANT AND PROTECTED FROM INFUSION BY WATER, INSECTS, ETC.

DATE	DESCRIPTION	PC COMMENTS
11-06-2023		

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23157			



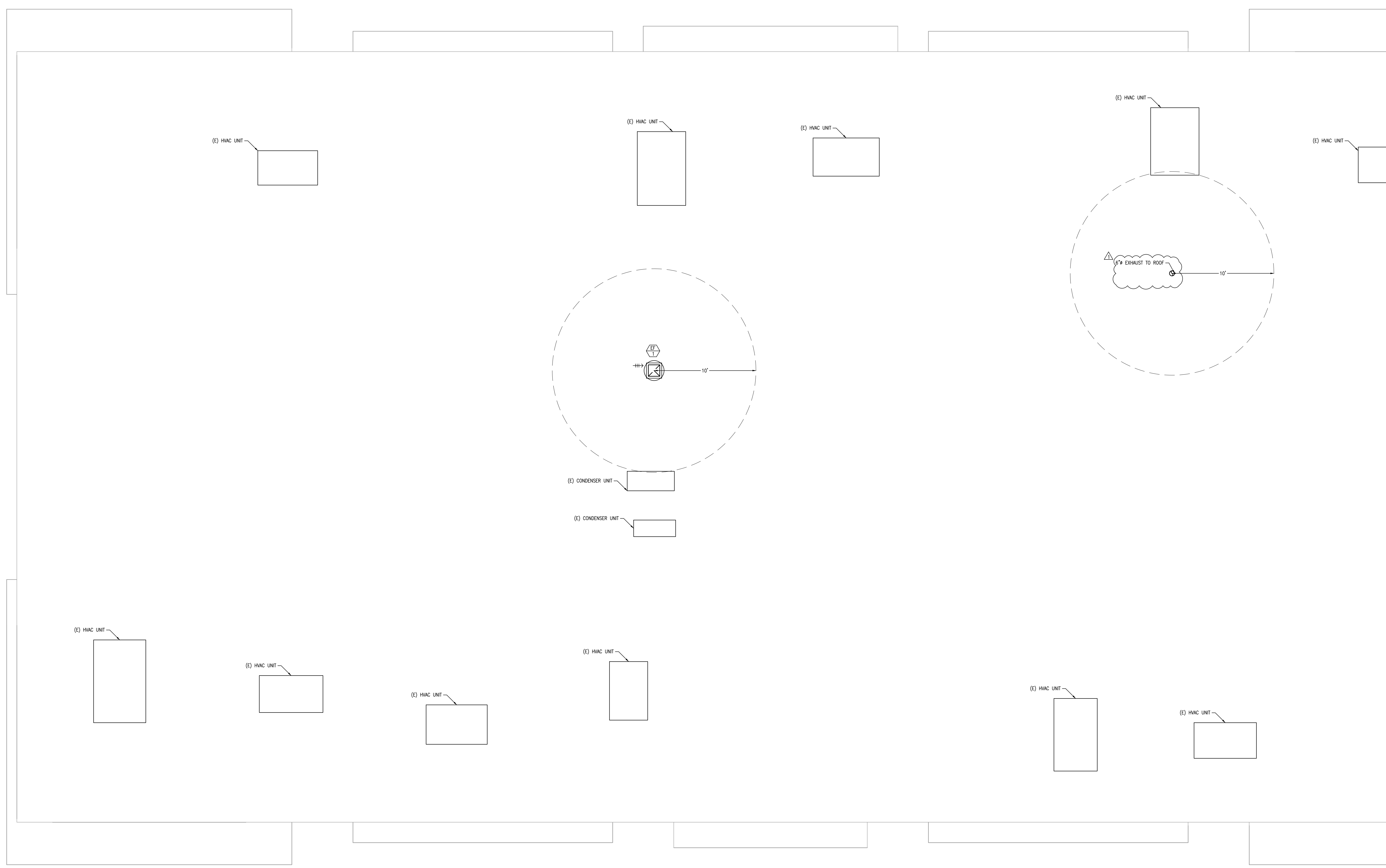
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**THE RISING ZONE TENANT IMPROVEMENT**  
 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

SHEET TITLE  
**MECHANICAL PLAN ROOF**

SHEET NO.  
**M2**



**A** MECHANICAL PLAN - ROOF  
 SCALE: 1/4"=1'-0"



**ELECTRICAL GENERAL NOTES**

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS AMENDED AND ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION: 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ENERGY CODE (CENEC), 2022 CALIFORNIA GREEN BUILDING CODE (CGC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND ANY OTHER LOCAL CODES, ORDINANCES, REGULATIONS, OR AUTHORITIES HAVING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. THESE CODES SHALL DETERMINE MINIMUM REQUIREMENTS FOR MATERIALS, METHODS, AND LABOR PRACTICES NOT OTHERWISE DEFINED IN THESE SPECIFICATIONS.
- ALL CONDUCTORS SHALL BE PER DESIGN SHEETS. CEC AND MAXIMUM VOLTAGE DROP OF 5% WILL DEFINE CONDUCTOR SIZING.
- ALL CONDUCTORS SHALL BE IN CONDUITS, U.O.N. CONDUITS SHALL BE USED IN THE FOLLOWING METHODS:
  - POLYVINYL CHLORIDE (PVC) CONDUITS ALLOWED FOR UNDERGROUND OTHERWISE PROVIDE RMC OR IMC. INSTALL PER CEC TABLE 300.5 BURIAL DEPTH REQUIREMENTS
  - ELECTRICAL METALLIC TUBING (EMT) WITH COMPRESSION FITTINGS MAY BE USED IN OR ON WALLS OR CEILINGS WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP CONDITIONS OR CORROSIVE CONDITIONS.
  - LIQUID TIGHT FLEXIBLE METAL CONDUIT WHERE REQUIRED.
  - FLEXIBLE METALLIC CONDUIT, WHERE REQUIRED BY CEC, IN DRY LOCATIONS. NOTE: ALL CONDUITS IN HAZARDOUS LOCATIONS (PER CEC) SHALL MEET THE REQUIREMENTS OF CEC CHAPTER 5.
  - CONNECTION TO LIGHT FIXTURES ABOVE LAY-IN CEILING MAY USE 3/8" FLEXIBLE METAL CONDUIT PER CEC 348.20(A)(2).
  - ALL EXPOSED CONDUIT SUBJECT TO WEAR OR COLLISION SHALL BE RIGID GALVANIZED STEEL (RGS) OR INTERMEDIATE METALLIC TUBING (IMT). APPLY BITUMASTIC COATING TO ALL METALLIC CONDUITS IN SLABS OR UNDERGROUND.
  - PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL RACEWAY PENETRATIONS OF FIRE RATED CEILINGS, PARTITIONS, WALLS AND STRUCTURAL SLABS.
- FOR TELEPHONE SYSTEM, PROVIDE GROUNDING FOR ALL TELEPHONE BACKBOARDS, TERMINAL CABINETS AND EQUIPMENT PER REQUIREMENTS OF CEC 800 AND TELEPHONE COMPANY.
- ALL EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED DISCONNECTING MEANS PER CEC. ALL DISCONNECT SWITCHES SHALL BE SIZED PER CEC TO ACCOMMODATE EQUIPMENT SERVED INCLUDING REQUIRED FUSES, U.O.N. SWITCHES SHALL BE HEAVY DUTY TYPE. PROVIDE MEANS FOR PAD LOCKING IN THE OPEN POSITION.
- ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME (THERMAL MAGNETIC) "PERMANENT TRIP" TYPE. TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. IMPACT IS EQUAL TO OR GREATER THAN CIRCUIT BREAKER FRAME AMPERE RATING.
- ALL CONNECTIONS TO GROUND RODS AND GRID, ETC., SHALL BE MADE WITH U.L. APPROVED WELDED CONNECTIONS, UNLESS NOTED OTHERWISE.
- LIGHTING SYSTEMS SHALL COMPLY WITH CEC. ALL LIGHTING FIXTURES, LAMPS, BALLASTS, DIMMER SWITCHES, AND CONTROLS SHALL BE CERTIFIED WITH THE CALIFORNIA ENERGY COMMISSION AS MEETING ALL CEC REQUIREMENTS AND BE LISTED IN THE APPLICABLE ENERGY COMMISSION DIRECTORY. ALL SUCH DEVICES AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. LIGHT FIXTURES IN SUSPENDED CEILINGS SHALL BE SUPPORTED IN STRICT ACCORDANCE WITH CEC SEISMIC REQUIREMENTS.
- LIGHT POLLUTION REDUCTION: OUTDOOR LIGHTING SYSTEMS SHALL BE INSTALLED TO COMPLY WITH CEC, CEC, OR LOCAL JURISDICTION ORDINANCE, WHICHEVER IS MORE STRINGENT.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC., (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL. ALL EQUIPMENT SHALL BE RAIN TIGHT WHERE EXPOSED TO THE WEATHER. ALL FLEX CONDUITS CONNECTED TO SUCH EQUIPMENT SHALL BE METALLIC LIQUID TIGHT. ALL EQUIPMENT IN HAZARDOUS LOCATIONS, PER CEC, CHAPTER 5, SHALL BE IN ACCORDANCE WITH THE CEC. ALL EQUIPMENT IN CORROSIVE ENVIRONMENTS SHALL BE IN ENCLOSURES (SUCH AS NEMA 4X) RATED FOR THE ENVIRONMENT.
- UTILITY SERVICE AND REQUIREMENTS SHALL BE COORDINATED WITH POWER SERVICE WITH POWER COMPANY. PROVIDE FOR ALL STANDARD POWER COMPANY REQUIREMENTS. FAULT CURRENT RATINGS SHALL BE PROVIDED BY UTILITY.
- THE LAYOUTS OF THE CONTRACT DRAWINGS ARE DIAGRAMMATIC. IT IS NOT INTENDED TO SHOW EVERY OFFSET AND FITTING, NOR EVERY STRUCTURAL DIFFICULTY THAT WILL BE ENCOUNTERED DURING THE INSTALLATION OF THE WORK. ALIGNMENT OF EQUIPMENT AND ROUTING OF RACEWAYS MAY BE VARIED SLIGHTLY TO ACCOMMODATE ARCHITECTURAL CONDITIONS OR TO AVOID THE WORK OF OTHER TRADES. IF ANY CONFLICTS OCCUR NECESSITATING DEPARTURES FROM CONTRACT DRAWINGS, DETAILS OF DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED AS SOON AS PRACTICABLE FOR WRITTEN APPROVAL OF THE ENGINEER.
- THE WORD "CONTRACTOR", AS USED IN THE ELECTRICAL CONTRACT DOCUMENTS, SHALL MEAN THE PRIME (I.E. GENERAL) CONTRACTOR AND HIS/HER SUBCONTRACTORS FOR THE APPROPRIATE TRADE. WHERE THE OWNER ACTS AS HIS OWN CONTRACTOR, THE WORD CONTRACTOR APPLIES TO THE OWNER.
- CONTRACTOR SHALL PROVIDE EVIDENCE OF LICENSING, BONDING, AND INSURANCE, AND PROVIDE OTHER NECESSARY ADMINISTRATIVE FUNCTIONS FOR CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROCURE AND PAY FOR ALL REQUIRED PERMITS AND SERVICE CHARGES.
- COORDINATION: CONFORM TO GENERAL CONSTRUCTION CONTRACT DOCUMENTS EXCEPT AS MODIFIED HEREIN. REFER ALSO TO STRUCTURAL AND MECHANICAL CONTRACT DOCUMENTS. COORDINATE ALL WORK WITH OTHER TRADES.
- CUTTING AND PATCHING: ANY CUTTING, ATTACHING, OR WELDING TO BUILDING STRUCTURE SHOULD BE COORDINATED AND APPROVED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER. PATCHING SUBJECT TO ACCEPTANCE BY OWNER.
- SAW CUT TRENCHES IN SLAB SHALL BE FULLY RESTORED AND REINFORCED TO PREVENT SAGGING. ROUGHEN SAW CUT EDGES PRIOR TO RE-POURING CONCRETE.
- COORDINATE ALL WORK WITH OTHER TRADES TO PROVIDE A COMPLETE INSTALLATION. CONNECT ALL EQUIPMENT FURNISHED BY OTHERS AS REQUIRED. INSTALL ALL WORK TO CLEAR ARCHITECTURAL AND STRUCTURAL MEMBERS. INSTALL ALL ABOVE GRADE (OVERHEAD) PIPING AS HIGH AS PRACTICAL.
- RESTORE ALL DAMAGE RESULTING FROM THE WORK AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINISHED WITH WORK. ADJUST, CLEAN, REPAIR, OR REPLACE PRODUCTS, WHICH HAVE BEEN DAMAGED.
- PROVIDE FLASHING AND COUNTER FLASHING FOR ALL WALL AND ROOF PENETRATIONS.
- WARRANTY: ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED FREE FROM ALL MECHANICAL, ELECTRICAL, AND WORKMANSHIP DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE PREMISES CAUSED BY WORK UNDER THIS CONTRACT, AS WELL AS ANY DAMAGE FROM LEAKS VIA ROOF PENETRATIONS MADE AND SEALED UNDER CONTRACTOR'S SCOPE.

**ELECTRICAL CALGREEN NOTES**

- 5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING: CONSTRUCTION SHALL COMPLY WITH CEC SECTION 5.106.5.3.1 OR SECTION 5.106.5.3.2 TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
- 5.106.5.3.1 SINGLE CHARGING SPACE REQUIREMENTS: WHEN ONLY A SINGLE CHARGING SPACE IS REQUIRED PER CEC TABLE 5.106.5.3.3, A RACEWAY IS REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH CEC.
- 5.106.5.3.2 MULTIPLE CHARGING SPACES REQUIREMENTS: WHEN MULTIPLE CHARGING SPACES ARE REQUIRED PER CEC TABLE 5.106.5.3.3, RACEWAYS IS/ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH CEC.
- 5.106.5.3.3 EV CHARGING SPACE CALCULATION: CEC TABLE 5.106.5.3.3 SHALL BE USED TO DETERMINE IF SINGLE OR MULTIPLE CHARGING SPACE REQUIREMENTS APPLY FOR THE FUTURE INSTALLATION OF EVSE.
- 5.106.5.3.4 IDENTIFICATION: THE SERVICE PANEL OR SUBPANEL(S) CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICE SPACE(S) FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".
- 5.106.5.3.5 FUTURE CHARGING SPACES: FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN CEC SECTION 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES.

**LIGHTING FIXTURE SCHEDULE**

TAG	TYPE	MANU.	SERIES	MODEL	QTY.	MOUNTING	VOLT.	WATTAGE	SOURCE	LUMENS	CCT	REMARKS
A	DOWNLIGHT	JUNO	HALO	J5F-SN07LM-40K-90CR	4	SURFACE	120	10.0	LED	700	4000K	WET RATED

NOTES: COORDINATE ALL ARCHITECTURAL TRIM AND ACCESSORY OPTIONS WITH OWNER EQUIVALENT FIXTURES ACCEPTABLE CONTINGENT ON OWNER APPROVAL

Code	VA	Description	BRK	Ckt	PHASE	Ckt	BRK	Description	VA	Code
R	720	(E) Recept - Gym	20/3	1	A	2	20/3	(E) Lights - Gym	800	L
R	720		-	3	B	4	-		800	L
R	720		-	5	C	6	-		800	L
M	506	EF-1	20/1	7	A	8	20/3	(E) Lights and (N) Lights	840	L
				9	B	10	-		800	L
				11	C	12	-		800	L
R	540	(E) Recept - Chiller	20/3	13	A	14	20/3	(E) Recept	720	R
R	540		-	15	B	16	-		720	R
R	540		-	17	C	18	-		720	R
O	2000	WH-1	30/3	19	A	20	20/3	(E) Recept - Vending	720	R
O	2000		-	21	B	22	-		720	R
O	2000		-	23	C	24	-		720	R
R	900	(E) Recept - Office	20/3	25	A	26	20/3	(E) Recept	720	R
R	900		-	27	B	28	-		720	R
R	900		-	29	C	30	-		720	R
R	720	(E) Recept - Chiller Couther	20/3	31	A	32	20/3	(E) Recept	720	R
R	720		-	33	B	34	-		720	R
R	720		-	35	C	36	-		720	R
O	3600	(E) AC-4	45/3	37	A	38	45/3	(E) AC-10	3600	O
O	3600		-	39	B	40	-		3600	O
O	3600		-	41	C	42	-		3600	O

Largest Motor VA: 2087.072  
Largest Motor Phases: A, B, C  
Subfeed Breaker to Panel:

Load Code	VA Load per Phase			Calculation		
	A	B	C	Total VA	Mult.	VA Load
R = Recept	5760	5760	5760	17280	0.79	13640
K = Kitchen	0	0	0	0	1.00	0
M = Motor	506	0	0	506	1.00	506
L = Lighting	1640	1600	1600	4840	1.25	6050
H = Heat	0	0	0	0	1.25	0
PV = Solar	0	0	0	0	1.25	0
EV = Elec. Vehicle	0	0	0	0	1.25	0
O = Other	9200	9200	9200	27600	1.00	27600
Load Totals	17106	16560	16560	50226	0.95	47796
VA of Largest Motor				2087.072	0.25	521.768
Subfeed VA Loads	0.0	0.0	0.0			
Total VA Loads	16476.6	15920.6	15920.6			
Load Balance	102.3%	98.8%	98.8%			
	VA Load This Panel			48317.8		
	Amperage This Panel Per Largest Phase VA			137.3		

Notes: - Panel AIC rating based on wire size and length

Voltage Drop Summary			
Total Feeder Voltage Drop	Worst Case Branch Circuit	Worst Case Voltage Drop	
MSB->1B	0.11%	1B-19,21,23	3.11%
			3.21%

**ELECTRICAL SHEET INDEX**

- E0 ELECTRICAL SCHEDULES, ONE-LINE, & GENERAL NOTES
- E1 ELECTRICAL PLAN - POWER
- E2 ELECTRICAL PLAN - LIGHTING
- E3 ELECTRICAL ENERGY REPORT

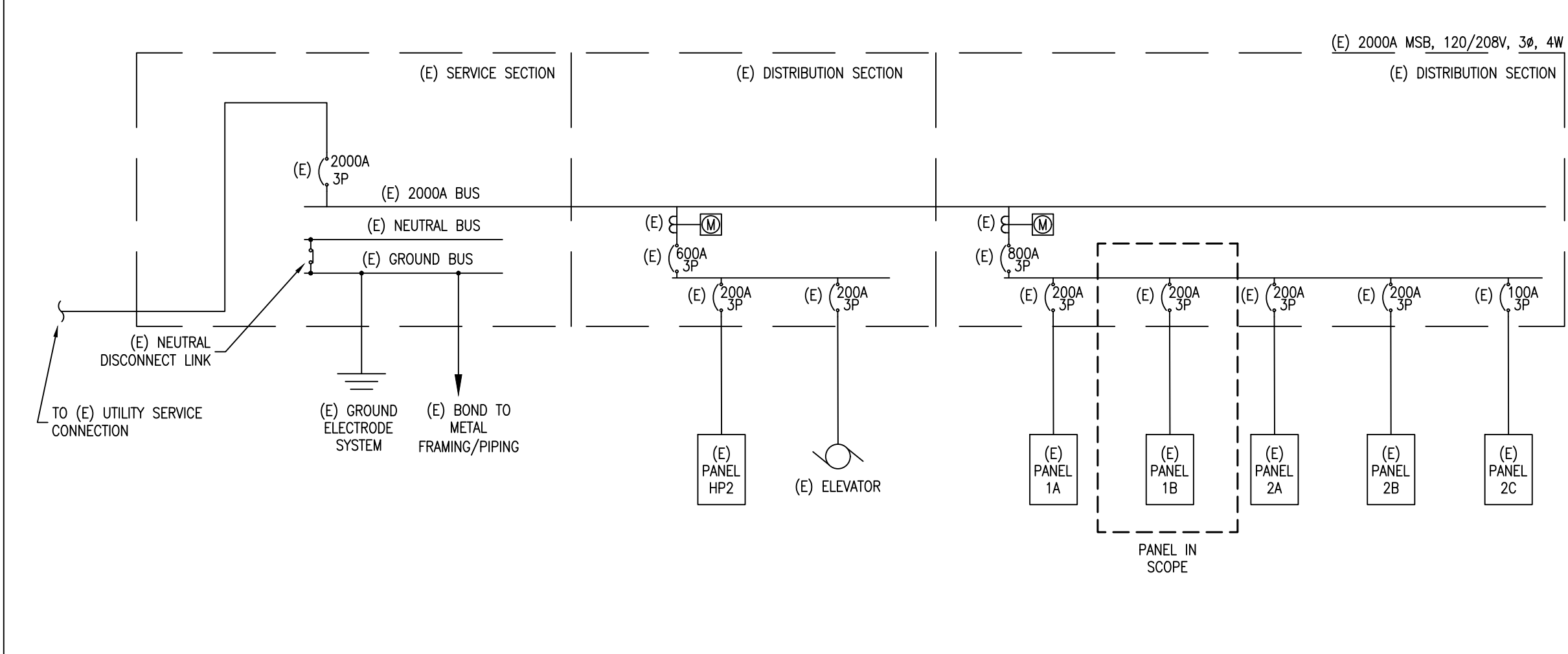
**ELECTRICAL SCOPE OF WORK**

- RELOCATION OF EXISTING POWER SYSTEMS, POWER FOR (N) WATER HEATER
- INSTALLATION OF NEW LIGHTING SYSTEMS AND ASSOCIATED POWER AND CONTROLS TO BE CONNECTED TO EXISTING CIRCUITS

**ELECTRICAL LEGEND**

- 2X4 LIGHT FIXTURE (SURFACE, RECESSED)
- 2X2 LIGHT FIXTURE (SURFACE, RECESSED)
- FIXTURE W/ BATTERY BACKUP (TYP. ALL SHARED FIXTURES)
- RECESSED DOWNLIGHT
- ROUND SURFACE MOUNT LIGHT
- PENDANT LIGHT
- TRACK LIGHT
- SIGNLIGHT
- WALL MOUNT LIGHT
- POLE MOUNT LIGHT - 2 HEAD
- POLE MOUNT LIGHT - 1 HEAD
- EXIT/EMERGENCY COMBO LIGHT
- EMERGENCY FIXTURE
- EXIT LIGHT
- CEILING EXHAUST FAN
- WALL MOUNTED SWITCH
- WALL MOUNTED 3-WAY SWITCH
- PHOTOCELL
- PRIMARY AND SECONDARY DALYLT ZONES
- CEILING MOUNTED SENSOR
- RECEPTACLE - DUPLEX
- RECEPTACLE - QUADRUPLX
- RECEPTACLE - DEDICATED
- RECEPTACLE - 2-POLE
- RECEPTACLE - SPECIALTY, SEE PLANS FOR TYPE
- RECEPTACLE WITH USB PORT
- FLOOR MOUNTED RECEPTACLE
- CEILING MOUNTED RECEPTACLE
- PHONE-DATA PORT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- JUNCTION BOX
- DISCONNECT - POLES (CAPACITY/FUSE)
- HOME RUN - PANEL-CIRCUIT(S)
- WIRE/CONDUIT - OVERHEAD
- WIRE/CONDUIT - UNDERGROUND
- POWER PANEL
- TRANSFORMER
- AFB ABOVE FINISHED FLOOR
- +XX" HEIGHT (INCHES) AFF
- D DIMMER
- M OCCUPANCY SENSOR
- V VACANCY SENSOR
- GFCI GROUND FAULT CURRENT INTERRUPTER
- CH COUNTERHEIGHT (+4"), GFCI
- WP WEATHERPROOF
- HP HORSEPOWER
- BHP BRAKE HORSEPOWER
- NTS NOT TO SCALE
- GROUND
- GEC GROUNDING ELECTRODE CONDUCTOR
- MSB MAIN SWITCHBOARD
- SSB SYSTEM BONDING JUMPER
- SSBJ SUPPLY SIDE BONDING JUMPER
- BCPM BRANCH CIRCUIT POWER METER
- TYP TYPICAL
- UON UNLESS OTHERWISE NOTED

**ONE-LINE DIAGRAM**



**ONE-LINE NOTES:**

- (N) - NEW  
(E) - EXISTING  
(R) - REPLACED  
(F) - FUTURE
- ALL EQUIPMENT/WIRING IS (N) U.O.N.
- ALUMINUM WIRING INSULATION SHALL BE 90% U.O.N. COPPER WIRING INSULATION SHALL BE TWIN-2, U.O.N.
- THE SERVICE DISCONNECT SHALL BE PERMANENTLY MARKED PER CEC 230.70(B)
- POST A DATED AVAILABLE FAULT CURRENT CALCULATION AT THE SERVICE EQUIPMENT PER CEC 110.24
- SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROLS PANELS, ETC. SHALL BE FIELD OR FACTORY MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. MARKING SHALL MEET 110.21(B) AND BE CLEARLY VISIBLE PER CEC 110.16
- ALL SWITCHBOARDS AND PANELBOARDS SUPPLIED BY A FEEDER SHALL BE MARKED TO INDICATE THE DEVICE OR EQUIPMENT WHERE THE POWER SUPPLY ORIGINATES PER CEC 408.4(B)

DATE	DESCRIPTION	PC COMMENTS
11-06-2023		

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2/3/25				06-30-2023

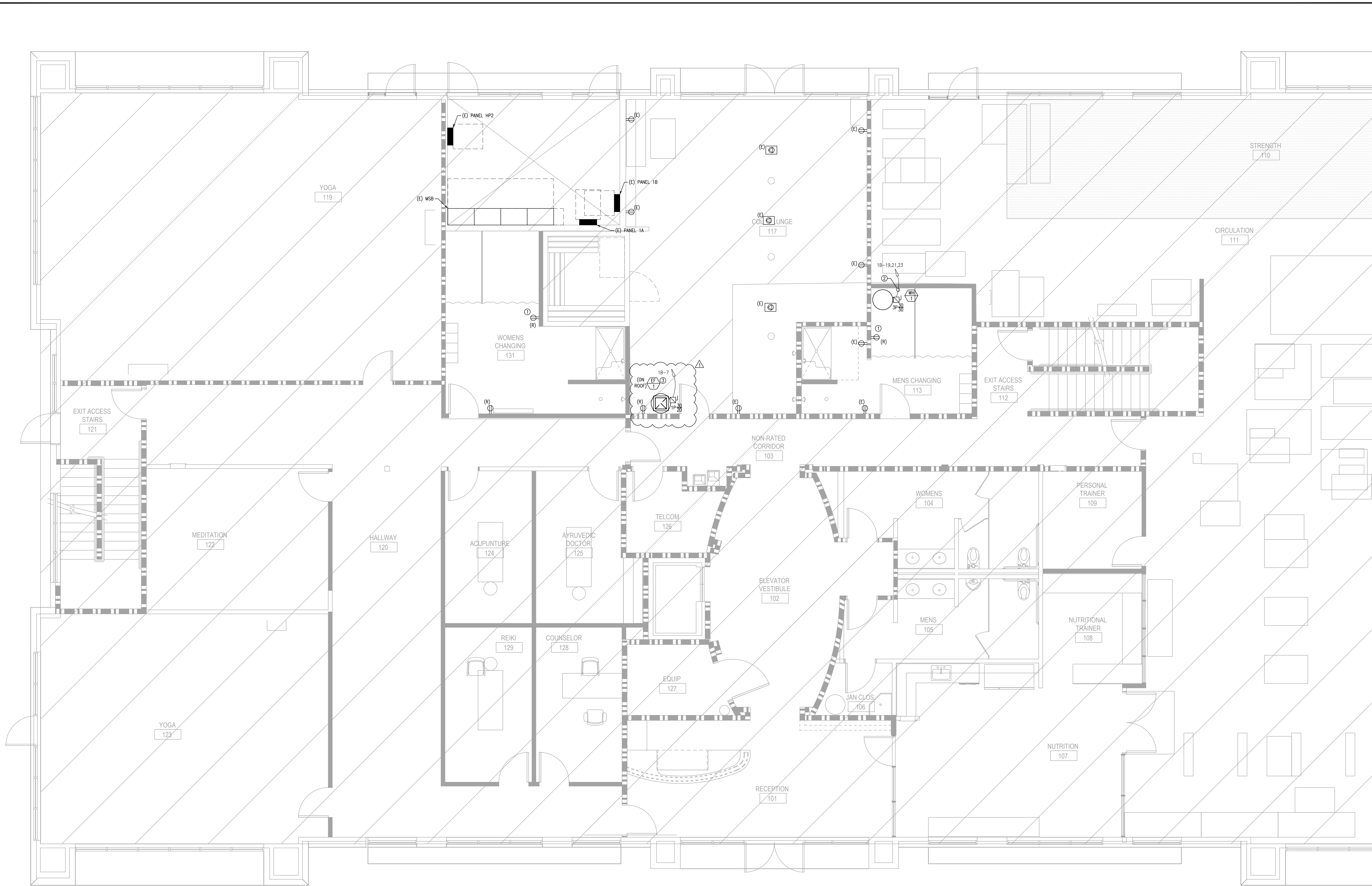
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& FACILITIES CONSULTING, INC.  
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**THE RISING ZONE TENANT IMPROVEMENT**  
5828 LONETREE BLVD,  
ROCKLIN CA 95765

**ELECTRICAL SCHEDULES, ONE-LINE, & GEN. NOTES**

**E0**



- SHEET NOTES:**
- (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  - ALL RECEPTACLES/EQUIPMENT SHOWN ARE (N) U.O.N.
  - BRANCH CIRCUITS: ALL WIRING SHALL BE #12 AWG CU AND ALL WIRING INSULATION SHALL BE THWN-2, U.O.N.
  - BOTTOM OF BOXES FOR RECEPTACLES AND PORTS SHALL BE MINIMUM 15" ABOVE THE FINISHED FLOOR, U.O.N.
  - GFI RECEPTACLES SHALL BE WIRED IN PARALLEL.
  - ALL FIRE-RATED WALL, CEILING, AND ROOF PENETRATIONS FOR JUNCTION BOXES, RECEPTACLES, AND LIGHTING FIXTURES TO BE CAULKED AND SEALED TO PRESERVE THE FIRE RATING. PROVIDE STEEL ELECTRICAL BOXES IN FIRE-RESISTIVE GLCS AND WALLS. SEPARATE ELECTRICAL BOXES BACK TO BACK IN FIRE-RESISTIVE WALLS BY A MIN. OF 24". BOX AREA SHALL NOT EXCEED 16 SQ. IN.
  - CONTRACTOR TO TEST ALL (E) GFI RECEPTACLES TO ENSURE GFI PROTECTION, REPLACE AS NEEDED.
  - ALL DISCONNECT SWITCHES LOCATED OUTDOORS SHALL BE NEMA 3R PER NEC TABLE 110.28

DATE: 11-06-2023

DESCRIPTION: PC COMMENTS

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CHECKED: [Signature]

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5734 Lonepine Boulevard Rocklin, CA 95765  
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- KEY NOTES:**
- RELOCATE (E) RECEPTACLE AND RECONNECT TO (E) CIRCUIT. CONTRACTOR TO VERIFY EXACT LOCATION WITH OWNER.
  - #10 CU THWN-2  
(1) #10 CU GND  
→ 24" SQUARE
  - PROVIDE TIMESWITCH FOR EXHAUST FAN TO OPERATE DURING NORMAL BUSINESS HOURS

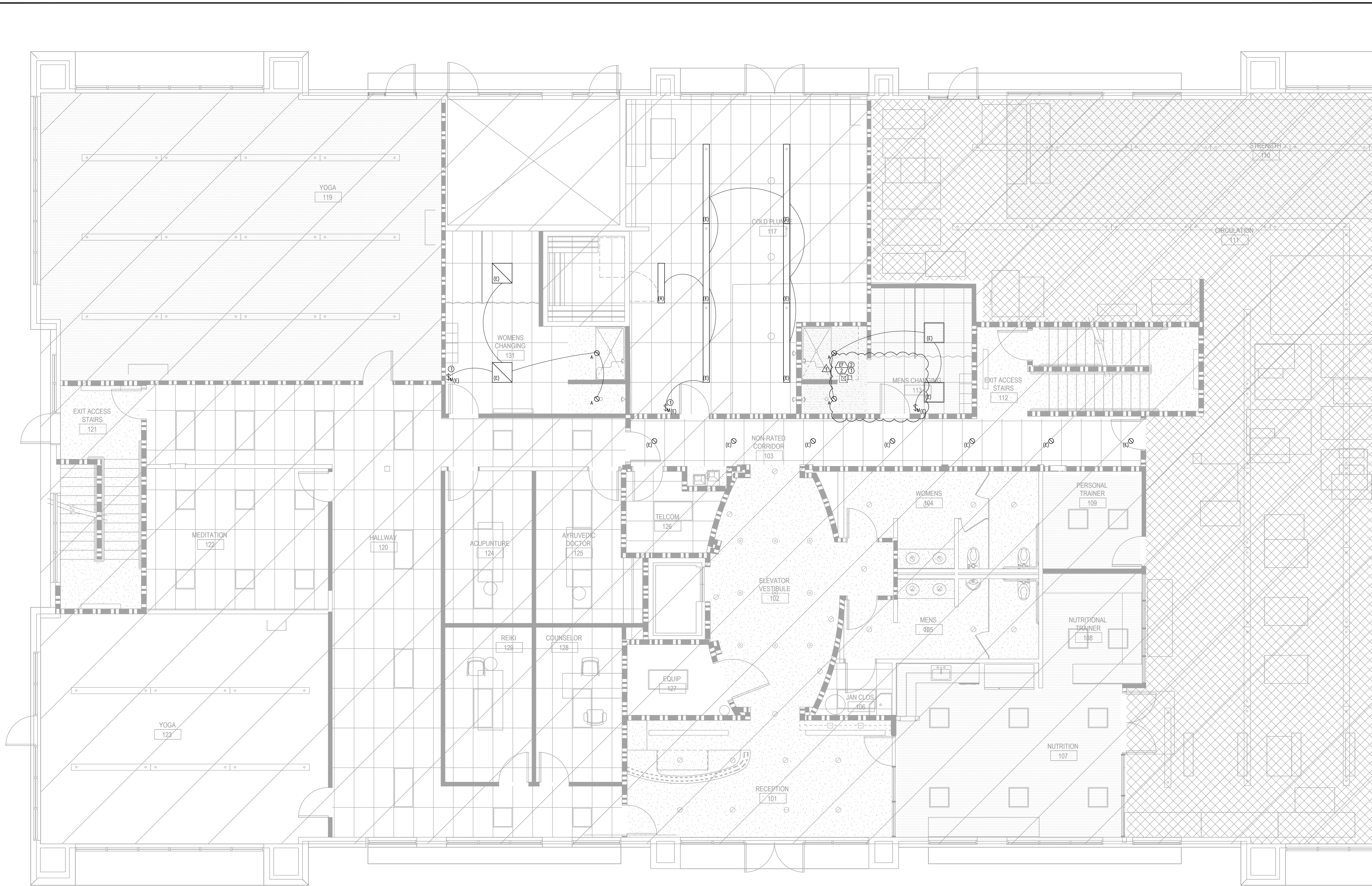
**A** ELECTRICAL PLAN - POWER  
SCALE: 1/4"=1'-0"



**THE RISING ZONE TENANT IMPROVEMENT**  
5828 LONETREE BLVD,  
ROCKLIN CA 95765

SHEET TITLE  
**ELECTRICAL PLAN  
POWER**

SHEET NO.  
**E1**



- KEY NOTES:**
- ① RECONNECT TO (E) LIGHTING CIRCUIT
  - ② PROVIDE TIMESWITCH FOR EXHAUST FAN TO OPERATE DURING NORMAL BUSINESS HOURS

- SHEET NOTES:**
1. (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  2. ALL LIGHT FIXTURES/CONTROLS SHALL BE #12 AWG CU AND ALL WIRING INSULATION SHALL BE THWN-2, U.O.N.
  3. BRANCH CIRCUITS, ALL WIRING SHALL BE #12 AWG CU AND ALL WIRING INSULATION SHALL BE THWN-2, U.O.N.
  4. TOP OF BOXES FOR SWITCHES SHALL BE MAXIMUM 48" ABOVE THE FINISHED FLOOR, U.O.N.
  5. ALL LIGHTING CONTROLS, INCLUDING BUT NOT LIMITED TO TIME SWITCHES, PHOTOSENSORS, DIMMERS, AND OCCUPANCY SENSING DEVICES SHALL COMPLY WITH CEC 110.9, 130.0-130.5, 140.6-140.8, AND 141.0. CONTROLS MAY BE SELF-CONTAINED OR PART OF A LIGHTING CONTROL SYSTEM AS DEFINED IN CEC 100.1. RECOMMENDED LIGHTING CONTROL SYSTEMS MEETING THESE REQUIREMENTS INCLUDE ACQUITY NIGHT AND COOPER WAVELENGTH CONTROL ELEMENTS SHOWN ON PLANS ARE THE MINIMUM REQUIRED AND SHALL BE INCLUDED IN ANY LIGHTING CONTROL SYSTEM. CONSULT PREFERRED MANUFACTURER FOR PRODUCT SPECIFICATION AND INSTALLATION DETAILS.
  6. ALL FIRE-RATED WALL, CEILING, AND ROOF PENETRATIONS FOR JUNCTION BOXES, RECEPTACLES, AND LIGHTING FIXTURES TO BE CALKED AND SEALED TO PRESERVE THE FIRE RATING. PROVIDE STEEL ELECTRICAL BOXES IN FIRE-RESISTIVE CLOS AND WALLS. SEPARATE ELECTRICAL BOXES BACK TO BACK IN FIRE-RESISTIVE WALLS BY A MIN. OF 24". BOX AREA SHALL NOT EXCEED 16 SQ. IN.
  7. LIGHT FIXTURES INSTALLED IN BATHUBS/SHOWER ENCLOSURES TO BE LABELED "SUITABLE FOR WET LOCATIONS"

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 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

SHEET TITLE  
**ELECTRICAL PLAN LIGHTING**

SHEET NO.  
**E2**

**A ELECTRICAL PLAN - LIGHTING**  
 SCALE: 1/4"=1'-0"



STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 2 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

A. GENERAL INFORMATION			
01 Project Location (city)	Rocklin	04 Total Conditioned Floor Area (ft <sup>2</sup> )	441
02 Climate Zone	11	05 Total Unconditioned Floor Area (ft <sup>2</sup> )	0
03 Occupancy Types Within Project (select all that apply):		06 # of Stories (Habitable Above Grade)	1
• Support Areas			

B. PROJECT SCOPE			
This table includes any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.6 / 170.2(e) or 141.0(b) / 180.2(b)4 for alterations.			
Scope of Work		Conditioned Spaces	
03		04	
My Project Consists of (check all that apply):		Calculation Method	Area (ft <sup>2</sup> )
<input checked="" type="checkbox"/> New Lighting System		441	441
<input type="checkbox"/> New Lighting System - Parking Garage		Area Category Method	0
Total Area of Work (ft <sup>2</sup> )		441	0

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
 Generated Date/Time: Report Version: 2022.0.000  
 Documentation Software: EnergyPro  
 Schema Version: rev 20220101  
 Compliance ID: EnergyPro-5910-0723-0656  
 Report Generated: 2023-07-06 11:47:50

STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 4 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

H. INDOOR LIGHTING CONTROLS (Not including PAFs)										
Area Level Controls										
04	05	06	07	08	09	10	11	12		
Area Description	Complete Building or Area Category Primary Function Area	Manual Area Controls 130.1(a) / 160.5(b)4A	Multi-Level Controls 130.1(b) / 160.5(b)4B	Shut-Off Controls 130.1(c) // 160.5(b)4C	Primary/Skylight Daylighting 130.1(d) / 160.5(b)4D	Secondary Daylighting 130.1(d) / 160.5(b)4D	Interlocked Systems 140.6(a)(2) / 170.2(e)2A	Field Inspector	Pass	Fail
Womens Changing 131	Restroom	Readily Accessible	NA: General Itg <= 0.5W/SF	Occupancy Sensor	NA: Rm < 24sf Glazing	NA: Rm < 24sf Glazing	No	<input type="checkbox"/>	<input type="checkbox"/>	
Mens Changing 113	Restroom	Readily Accessible	NA: General Itg <= 0.5W/SF	Occupancy Sensor	NA: Rm < 24sf Glazing	NA: Rm < 24sf Glazing	No	<input type="checkbox"/>	<input type="checkbox"/>	
13 Plan Sheet Showing Daylit Zones:										

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS					
Each area complying using the Complete Building or Area Category Methods per 140.6(b) are included in this table. Column 06 indicates if additional lighting power allowances per 140.6(c) or adjustments per 140.6(d) are being used.					
Conditioned Spaces					
01	02	03	04	05	06
Area Description	Complete Building or Area Category Primary Function Area	Allowed Density (W/ft <sup>2</sup> )	Area (ft <sup>2</sup> )	Allowed Wattage (Watts)	Additional Allowance / Adjustment Area Category PAF
Restrooms	Restroom	0.65	441	286.7	No
TOTALS:			441	286.7	See Tables I, or P for detail

J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM  
 This section does not apply to this project.

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
 Generated Date/Time: Report Version: 2022.0.000  
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STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 7 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT  
 I certify that this Certificate of Compliance documentation is accurate and complete.  
 Documentation Author Name: Alex Batista, PE  
 Signature Date: 2023-07-06  
 Company: Optimized Energy & Facilities Consulting  
 Address: 5734 Lonetree Blvd  
 City/State/Zip: Rocklin CA 95765  
 Phone: 916-626-5518

RESPONSIBLE PERSON'S DECLARATION STATEMENT  
 I certify the following under penalty of perjury, under the laws of the State of California:  
 1. The information provided on this Certificate of Compliance is true and correct.  
 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).  
 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 1.4 of the California Code of Regulations.  
 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.  
 Responsible Designer Name: Alex Batista  
 Signature Date: 2023-07-06  
 Company: Optimized Energy & Facilities Consulting, Inc  
 Address: 5734 Lonetree Blvd  
 City/State/Zip: Rocklin CA 95765  
 Phone: (916) 626-5518

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
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STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 2 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

C. COMPLIANCE RESULTS									
If any cell in this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D for guidance.									
Lighting in conditioned and unconditioned spaces must not be combined for compliance per 140.6(b)(1) / 170.2(e)	Allowed Lighting Power per 140.6(b) / 170.2(e) (Watts)					Adjusted Lighting Power per 140.6(a) / 170.2(e) (Watts)			Compliance Results
	01	02	03	04	05	06	07	08	09
Complete Building 140.6(c)(1)	Area Category 140.6(c)(2) / 170.2(e)(4)	Area Category Additional 140.6(c)(2G) / 170.2(e)(4)(v) (+)	Tailored 140.6(c)(3) / 170.2(e)(4B) (+)	=	Total Allowed (Watts)	Total Designed (Watts)	PAF Lighting Control Credits 140.6(e)(2) / 170.2(e)(1B) (-)	=	Total Adjusted (Watts) *Includes Adjustments
(See Table I)	(See Table I)	(See Table I)	(See Table I)	=	287	152	0	=	152
Conditioned	286.7	0		=	287	152	0	=	152
Unconditioned				=				=	
Controls Compliance (See Table H for Details) COMPLIES									
Rated Power Reduction Compliance (See Table Q for Details)									

D. EXCEPTIONAL CONDITIONS  
 This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS  
 This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
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STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 5 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE  
 This section does not apply to this project.

L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY  
 This section does not apply to this project.

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING  
 This section does not apply to this project.

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED DECORATIVE / SPECIAL EFFECTS  
 This section does not apply to this project.

O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE  
 This section does not apply to this project.

P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))  
 This section does not apply to this project.

Q. RATED POWER REDUCTION COMPLIANCE FOR ONE-FOR-ONE ALTERATIONS  
 This section does not apply to this project.

R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS  
 This section does not apply to this project.

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STATE OF CALIFORNIA  
**Indoor Lighting**  
 CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 3 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

F. INDOOR LIGHTING FIXTURE SCHEDULE									
This table includes all planned permanent and portable lighting other than dwelling unit/hotel/motel room lighting. Multifamily dwelling unit and hotel/motel room lighting is documented in Table T. If using Table T to document lighting in multifamily common use areas providing shared provisions for living, eating, cooking or sanitation, those luminaires are not included here.									
Designed Wattage: Conditioned Spaces									
01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Modular (Track) Fixture	Small Aperture & Color Change <sup>1</sup>	Watts per luminaire <sup>2</sup>	How is Wattage determined	Total Number of Luminaires	Excluded per 140.6(a)(3) / 170.2(e)(2C)	Design Watts	Field Inspector
(E)	(E)	No	NA	28	Mfr. Spec	4	No	112	<input type="checkbox"/>
A	A	No	NA	10.1	Mfr. Spec	4	No	40.4	<input type="checkbox"/>
Total Designed Watts: CONDITIONED SPACES								152	

<sup>1</sup>FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per 140.6(a)(4) / 170.2(e)(2D) is adjusted to be 75% / 80% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05.  
<sup>2</sup>Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b). Wattage used must be the maximum rated for the luminaire, not the lamp.

G. MODULAR LIGHTING SYSTEMS  
 This section does not apply to this project.

H. INDOOR LIGHTING CONTROLS (Not including PAFs)		
This table includes lighting controls for conditioned and unconditioned spaces.		
Building Level Controls		
01	02	03
Mandatory Demand Response 110.12(c)	Shut-off controls 130.1(c) / 160.5(b)4C	Field Inspector
		Pass
NA < 4,000W subject to multilevel	See Area/Space Level Controls	Fail

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
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 CERTIFICATE OF COMPLIANCE NRCC-LTI-1  
 Project Name: The Rising Zone Report Page: (Page 6 of 7)  
 Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF)  
 This section does not apply to this project.

T. DWELLING UNIT LIGHTING  
 This section does not apply to this project.

U. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION  
 Form/Title  
 NRCC-LTI-E - Must be submitted for all buildings

V. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE  
 Form/Title  
 NRCA-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls.  
 Systems/Spaces to be Field Verified  
 Womens Changing 131; Mens Changing 113.

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 Schema Version: rev 20220101  
 Compliance ID: EnergyPro-5910-0723-0656  
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DATE	DESCRIPTION	PC COMMENTS
11-06-2023		



ISSUED FOR: PERMIT  
 DATE: 11-06-2023



THE RISING ZONE TENANT IMPROVEMENT  
 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

SHEET TITLE  
 ELECTRICAL ENERGY REPORT

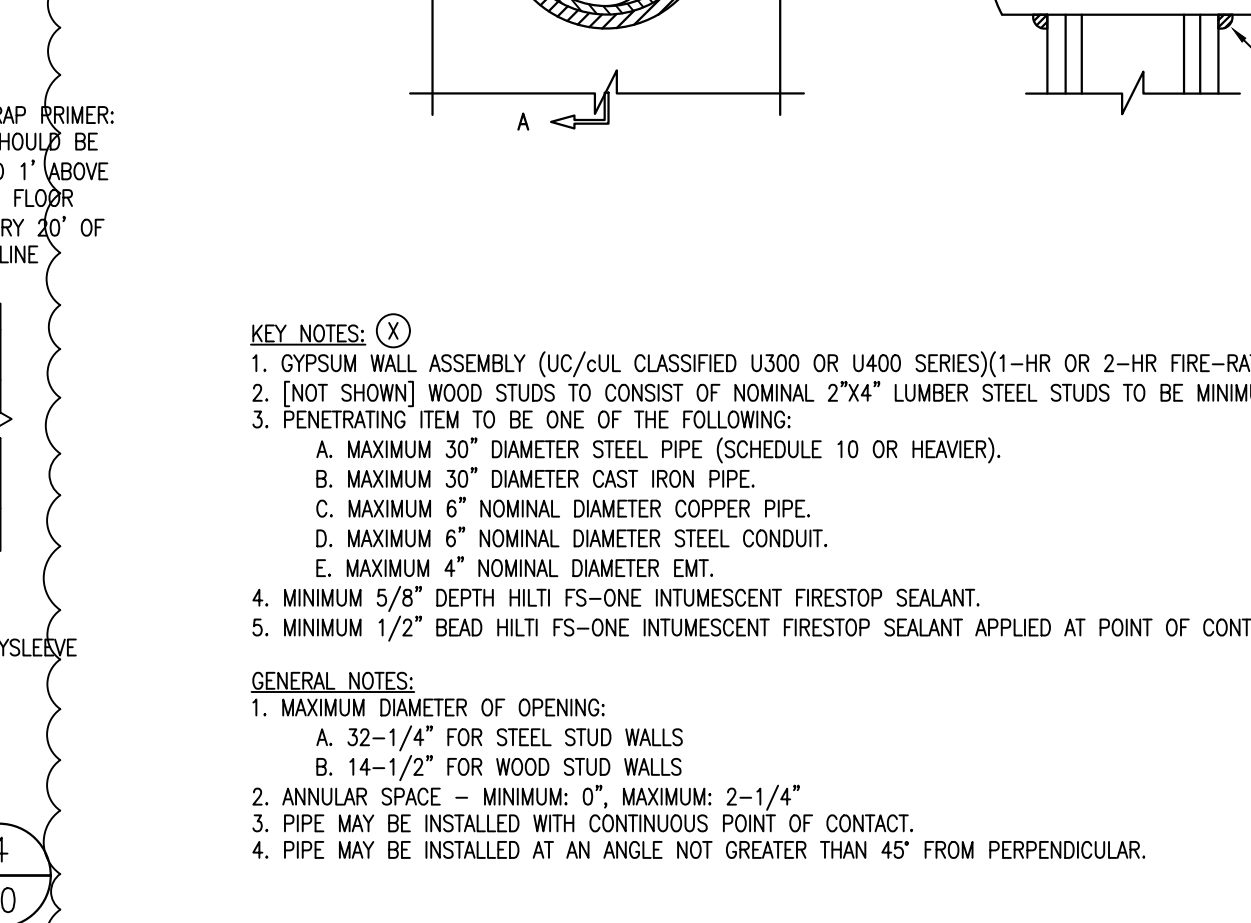
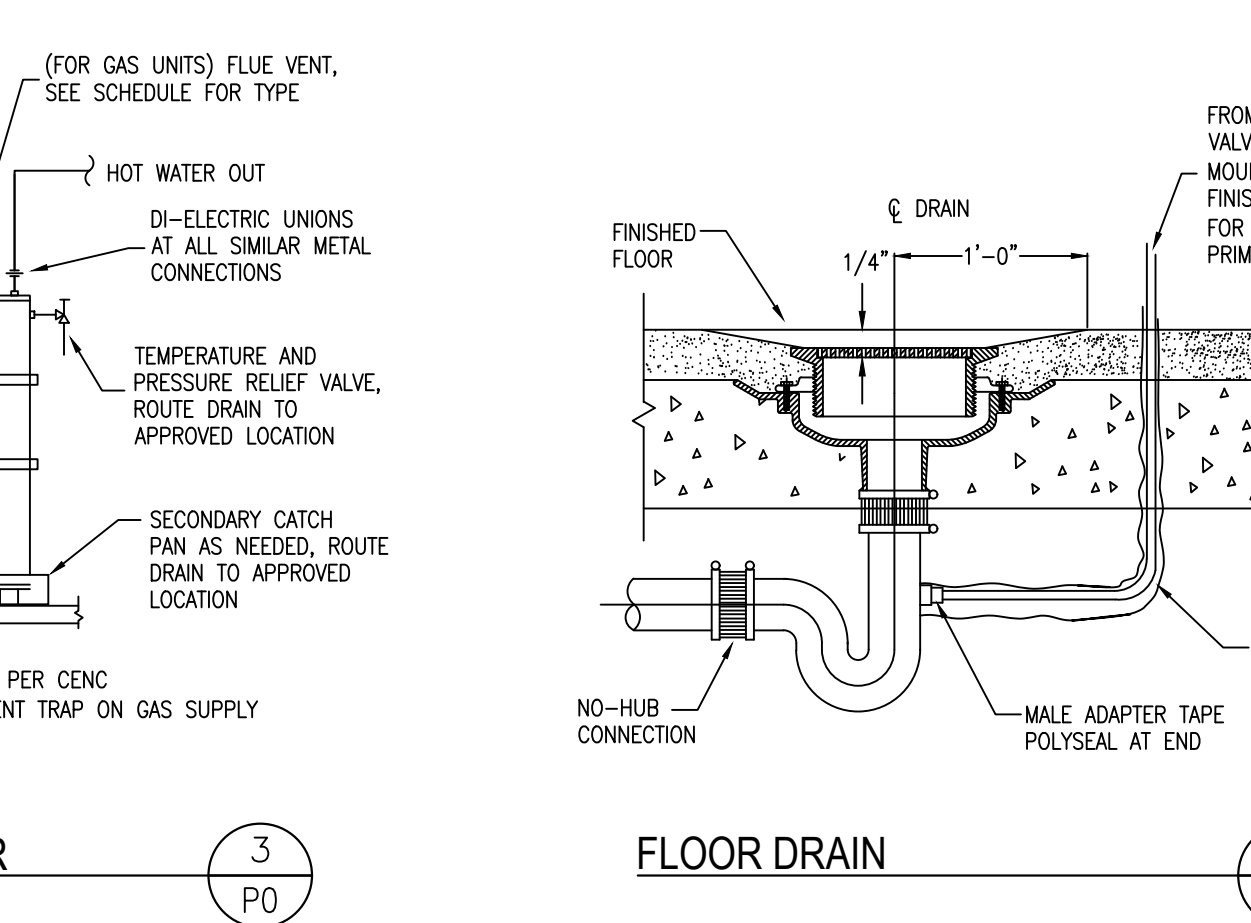
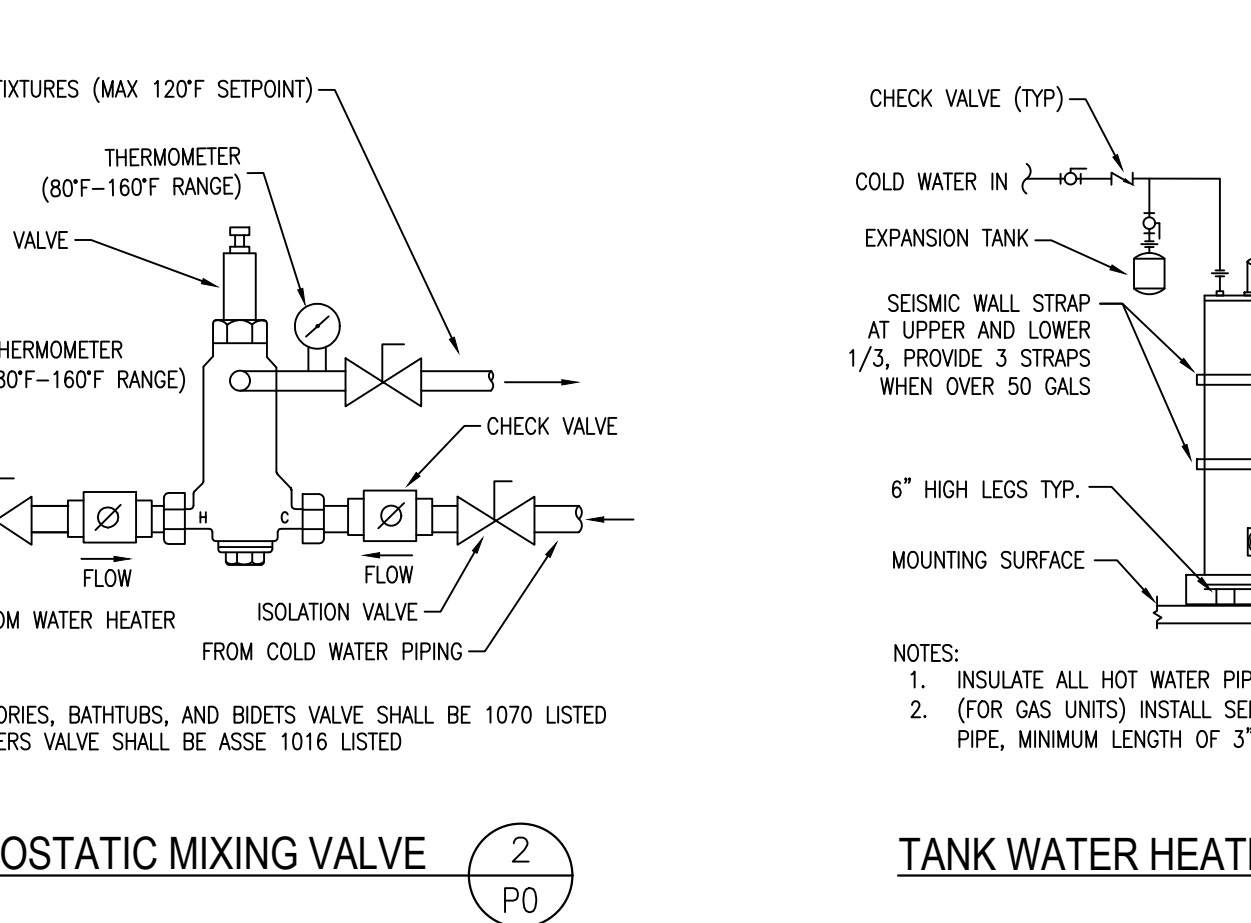
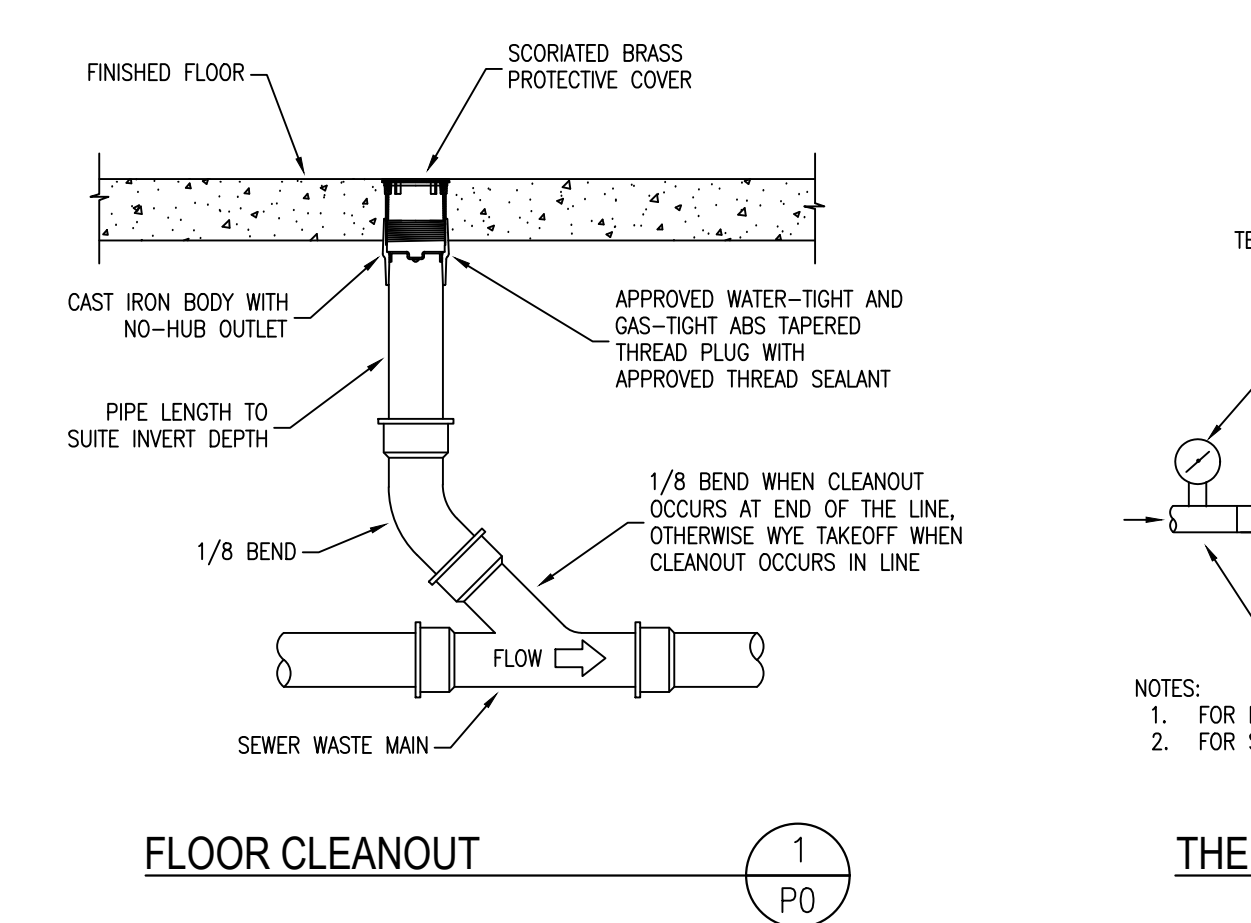
SHEET NO.  
 E3

### PLUMBING GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS AMENDED AND ADOPTED BY THE AUTHORITIES HAVING JURISDICTION: 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA FIRE CODE (FC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ENERGY CODE (CEC), 2022 CALIFORNIA GREEN BUILDING CODE (CGBC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND ANY OTHER LOCAL CODES, ORDINANCES, REGULATIONS, OR AUTHORITIES HAVING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. THESE CODES SHALL DETERMINE MINIMUM REQUIREMENTS FOR MATERIALS, METHODS, AND LABOR PRACTICES NOT OTHERWISE DEFINED IN THESE SPECIFICATIONS.
- CONTRACTOR TO EXAMINE THE PROPOSED WORK SITE AND BECOME FAMILIAR WITH ALL JOB CONDITIONS AFFECTING THE WORK. CONTRACTOR(S) SHALL FIELD-VERIFY SITE CONDITIONS INCLUDING LOCATIONS AND SIZES OF EXISTING PIPING, CLEANOUTS, WASTE MAINS, GAS METERS, ETC., AND BBS SHALL BE BASED ON ACTUAL FIELD CONDITIONS. NO ADDITIONAL ALLOWANCE WILL BE GRANTED DUE TO LACK OF KNOWLEDGE OF SITE CONDITIONS. ACCEPT SOLE AND COMPLETE RESPONSIBILITY FOR CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.
- DRAWINGS INDICATE DIMENSIONAL ARRANGEMENTS OF PRINCIPAL APPLIANCES, PIPING, DUCTWORK, AND OTHER MATERIAL. FOLLOW DRAWING AS CLOSELY AS POSSIBLE IN ORDER TO ACHIEVE A NEAT INSTALLATION WHILE STILL WORKING AROUND ANY OBSTRUCTIONS. INSPECT SITE CONDITIONS AFFECTING THE WORK AND PROVIDE FITTINGS AND ACCESSORIES AS REQUIRED TO MEET CONDITIONS WHETHER SHOWN OR NOT.
- IT IS NOT THE INTENTION OF THE PLANS AND SPECIFICATIONS TO COVER ALL INCIDENTALS REQUIRED TO PROVIDE COMPLETE AND FULLY-OPERATIONAL SYSTEMS. THE CONTRACTOR IS TO FURNISH ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, MISCELLANEOUS SERVICES, ETC., REQUIRED TO ACCOMPLISH THIS RESULT. ANYTHING WHICH MAY BE REASONABLY CONSIDERED AS A NECESSARY PART OF THE INSTALLATION SHALL BE INCLUDED, WHETHER SPECIFICALLY SHOWN OR MENTIONED OR NOT. ENGINEER WILL PROVIDE INTERPRETATIONS UPON REQUEST.
- DEFINITIONS:
  - WORK: LABOR AND MATERIALS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
  - FURNISH: OBTAIN, COORDINATE, SUBMIT THE NECESSARY DRAWINGS, DELIVER TO THE JOBSITE IN NEW CONDITION AND GUARANTEE.
  - PROVIDE: FURNISH AND INSTALL.
  - CONNECT: BRING SERVICE TO THE EQUIPMENT AND MAKE FINAL ATTACHMENTS INCLUDING NECESSARY PIPE FITTINGS, DUCTWORK, TRANSITIONS, ETC.
  - CONCEAL: HIDE FROM SIGHT IN CHASES, FURRED SPACES, SHEDS, ABOVE CEILING, EMBEDDED IN CONSTRUCTION, IN CRACK SPACES, OR BURIED.
  - EXPOSED: NOT INSTALLED UNDERGROUND OR CONCEALED AS DEFINED ABOVE.
  - PERFORMANCE: CONTRACTOR SHALL PERFORM ALL WORK SPECIFIED, INDICATED, AND REQUIRED UNLESS OTHERWISE NOTED, INCLUDING FINAL CONNECTIONS, IN A WORKMANLIKE MANNER USING WORKERS SKILLED AND EXPERIENCED IN THE TRADES. PIPES, FITTINGS, EQUIPMENT, VALVES, REGISTERS, ETC. TO BE INSTALLED LEVEL, SQUARE, OR CENTERED, ETC. TO GIVE A NEAT APPEARANCE.
  - FULL FUNCTION: PROVIDE ALL MINOR ITEMS NECESSARY FOR A COMPLETE AND FULLY FUNCTIONAL INSTALLATION.
- CONTRACTOR SHALL CONFIRM ALL SITE VOLTAGES BEFORE BIDDING AND ORDERING EQUIPMENT. REIMBURSE ELECTRICAL CONTRACTOR, AT NO CHARGE TO CLIENT, FOR ELECTRICAL CONTRACTOR'S COST INCURRED DUE TO SUBSTITUTION OF MECHANICAL EQUIPMENT HAVING ELECTRICAL REQUIREMENTS DIFFERING FROM SITE CONDITIONS.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES OF OPERATION, MAINTENANCE, AND PREVENTATIVE MAINTENANCE MANUALS FOR EACH MODEL AND TYPE OF PLUMBING AND MECHANICAL EQUIPMENT.
- CONTRACTOR SHALL PROVIDE EVIDENCE OF LICENSING, BONDING, AND INSURANCE, AND PROVIDE OTHER NECESSARY ADMINISTRATIVE FUNCTIONS FOR CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROCURE AND PAY FOR ALL REQUIRED PERMITS AND SERVICE CHARGES.
- COORDINATION: CONFORM TO GENERAL CONSTRUCTION CONTRACT DOCUMENTS EXCEPT AS MODIFIED HEREIN. REFER ALSO TO STRUCTURAL AND ELECTRICAL CONTRACT DOCUMENTS. COORDINATE ALL WORK WITH OTHER TRADES.
- CUTTING AND PATCHING: CUT AND PATCH AS REQUIRED; CUT OR WELD STRUCTURAL MEMBERS ONLY WITH APPROVAL OF A STRUCTURAL ENGINEER. PATCHING SUBJECT TO ACCEPTANCE BY OWNER.
- SAW CUT TRENCHES IN SLAB SHALL BE FULLY RESTORED AND REINFORCED TO PREVENT SAGGING. ROUGHEN SAW CUT EDGES PRIOR TO RE-POURING CONCRETE.
- COORDINATE ALL WORK WITH OTHER TRADES TO PROVIDE A COMPLETE INSTALLATION. CONNECT ALL EQUIPMENT FURNISHED BY OTHERS AS REQUIRED. INSTALL ALL WORK TO CLEAR ARCHITECTURAL AND STRUCTURAL MEMBERS. INSTALL ALL ABOVE GRADE (OVERHEAD) PIPING AS HIGH AS PRACTICAL.
- RESTORE ALL DAMAGE RESULTING FROM YOUR WORK AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINISHED WITH WORK. ADJUST, CLEAN, REPAIR, OR REPLACE PRODUCTS, WHICH HAVE BEEN DAMAGED.
- GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR MINIMUM FROM DATE OF FLING NOTICE OF COMPLETION.
- PROVIDE FLASHING AND COUNTER FLASHING FOR ALL WALL AND ROOF PENETRATIONS.
- ADJUSTMENTS: MAKE MINOR ADJUSTMENTS TO WORK WHERE REQUESTED BY OWNER. WHEN SUCH ADJUSTMENTS ARE NECESSARY TO PROPER OPERATION AND WITHIN THE INTENT OF THE CONTRACT.
- MATERIALS AND EQUIPMENT: PROVIDE NEW, UL-LISTED, COMMERCIAL-GRADE MATERIALS, DEVICES, EQUIPMENT, AND FIXTURES SUITABLE FOR THE ENVIRONMENT WHERE INSTALLED. REUSE EXISTING ONLY WHEN COMPLIANT WITH THE CONTRACT DOCUMENTS, IN GOOD CONDITION, AND APPROVED BY THE ENGINEER.
- INSTALLATION: INSTALL ALL MATERIALS, EQUIPMENT, AND SYSTEMS IN FULL ACCORD WITH MANUFACTURER'S INSTRUCTIONS.
- LAYOUT: INSTALL ALL PIPING AND DUCTWORK TO PRESENT A NEAT AND ORDERLY APPEARANCE. RUN ALL LINES PARALLEL WITH BUILDING CONSTRUCTION AS MUCH AS POSSIBLE. MAINTAIN HEADROOM, EQUIPMENT CLEARANCE, AND GRADIENT WHERE REQUIRED. ALLOW FOR EXPANSION & CONTRACTION.
- ACCESS DOORS: PROVIDE ACCESS DOORS OR PANELS FOR ALL VALVES, CLEANOUTS, DAMPERS, CONTROLS, DEVICES, AND OTHER ITEMS REQUIRING INSPECTION OR MAINTENANCE.
- START-UP: THOROUGHLY TEST AND DEMONSTRATE PROPER OPERATION OF ALL SYSTEMS AND EQUIPMENT MODIFIED, FURNISHED OR INSTALLED UNDER THIS CONTRACT.
- WARRANTY: ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED FREE FROM ALL MECHANICAL, ELECTRICAL, AND WORKMANSHIP DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE PREMISES CAUSED BY LEAKS AND/OR BREAKS IN PIPES AND FIXTURES INSTALLED UNDER THIS CONTRACT, AS WELL AS ANY DAMAGE FROM LEAKS VIA ROOF PENETRATIONS MADE AND SEALED UNDER CONTRACTOR'S SCOPE.
- PATCHING & PAINTING: RESTORE ANY DAMAGE RESULTING FROM THE WORK AND LEAVE PREMISES CLEAN. ADJUST, CLEAN, REPAIR, AND/OR REPLACE ANY ITEMS DAMAGED BY THE WORK. RESTORE WALL AND ROOF PENETRATIONS TO MATCH SURROUNDING WALL OR ROOF, RESPECTIVELY.

### PLUMBING CALGREEN NOTES

- 5.303.3.1 THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSEGE SPECIFICATION FOR TANK-TYPE TOILETS.
- 5.303.3.2 THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
- 5.303.3.3 SINGLE SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSEGE SPECIFICATION FOR SHOWERHEADS. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
- 5.303.3.4 NON-RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAX FLOW RATE OF NOT MORE THAN 0.5 GPM AT 60 PSI. KITCHEN FAUCETS AND WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GPM AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST RETURN TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.
- 5.303.5 FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF THE CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF SECTION 5.303.3 AND 5.303.4 SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATIONS TO THE BUILDING.
- 5.303.6 PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN CPC TABLE 1701.1 AND CALGREEN CHAPTER 6.
- 5.410.4.5 PROVIDE THE BUILDING OWNER WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM PRIOR TO FINAL INSPECTION.



### PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	TYPE	MOUNTING	MANU.	MODEL NO.	WATER SUPPLY			DRAIN		PIPE SIZES			REMARKS	
						MANU.	MODEL NO.	MAX GPM/GPF	TYPE	SIZE	WASTE	VENT	CW		HW
CO-1	CLEANOUT	FLOOR	-	ZURN	Z1400	-	-	-	-	SEE PLAN	-	-	-		
ET-1	EXPANSION TANK	-	-	AMTROL	EX-30	-	-	-	-	-	-	1/2"	-	4.4 GALLON CAPACITY	
FD-1	FLOOR DRAIN	-	FLOOR	ZURN	Z1515B	-	-	-	-	P-TRAP	2"	2"	1-1/2"	-	TRAP PRIMER CONNECTION (WHERE REQUIRED) AND NO-HUB OUTLET CONNECTION
FS-1	FLOOR SINK	-	FLOOR	ZURN	Z1900	-	-	-	-	P-TRAP	2"	2"	1-1/2"	-	ADD RESISTANT COATED INTERIOR, ALUMINUM DOME BOTTOM STRAINER
SH-1	SHOWER	-	-	COORDINATE MODEL SELECTION WITH OWNER	COORDINATE MODEL SELECTION WITH OWNER	1.8	-	-	-	P-TRAP	2"	2"	1-1/2"	1/2"	ADA COMPLIANT
TMW-1	THERMOSTATIC MIXING VALVE	-	-	WATTS	LPMVM-M1	-	-	-	-	-	-	1/2"	1/2"	ASSE STANDARD 1017, 1069, AND 1070 LISTED, 0.5-1.2 GPM FLOW RATING	
TP-1	TRAP PRIMER	-	-	PRECISION	P2-500	-	-	-	-	-	-	-	-	INSTALL IN ACCESSIBLE AREA AND IN ACCORDANCE WITH MANUFACTURER/LOCAL CODES	

NOTES: COORDINATE ALL TRIM AND ACCESSORY OPTIONS WITH OWNER EQUIVALENT FIXTURES ACCEPTABLE CONTINGENT ON OWNER APPROVAL.

### WATER AND SEWER SERVICE CALCULATION

FIXTURE TYPE	NO.	SEWER		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
FLOOR DRAIN	6	2	10	0	0	0	0	0
SHOWER	6	2	12	2	12	1.5	9	12
EXISTING DEMAND	1	51	51	36	36	7.5	7.5	36
TOTAL FU			73.0		48.0		16.5	48.0

EQUIVALENT COLD WATER FLOW RATE (GPM): 27

PRESSURE AVAILABLE AT MAIN (PSI): 80

MINIMUM REQUIRED FIXTURE PRESSURE (PSI): 8

ELEVATION LOSS (PSI): 6.5

METER LOSS (PSI): 1.8

BACKFLOW PREVENTER LOSS (PSI): 10

EQUIVALENT PIPE LENGTH FROM METER TO MOST REMOTE FIXTURE (FT): 150

FRICITION LOSS PRESSURE AVAILABLE (PSI): 23.50

MAXIMUM ALLOWABLE FRICTION LOSS (PSI@100 FT): 12.75

MINIMUM REQUIRED WATER PIPE SIZE (INCHES): 1.25

MINIMUM REQUIRED SEWER PIPE SIZE (INCHES): 4

SIZE TYPE L COPPER	CW MAX FLOW	CW FIXTURE UNIT	HW MAX FLOW	HW FIXTURE UNIT		
NOMINAL DIAMETER (INCHES)	INTERNAL DIAMETER	GPM	PPS	FLUSH TANK	GPM	PPS
0.5	0.540	3.8	5.3	4	3.6	5.0
0.75	0.785	10.0	6.6	13	7.5	5.0
1	1.025	20.2	7.8	30	12.9	5.0
1.25	1.265	31.3	8.0	58	19.6	5.0
1.5	1.505	44.4	8.0	103	27.7	5.0

(CALCULATIONS PER CPC APPENDIX A)

### PLUMBING SHEET INDEX

P0	PLUMBING SCHEDULES, CALCULATIONS, & GEN. NOTES
P1	PLUMBING PLAN - WATER
P2	PLUMBING PLAN - SEWER & VENT
P3	PLUMBING ENERGY REPORT

### PLUMBING SCOPE OF WORK

- INSTALLATION OF ALL COLD AND HOT WATER PIPING AND FITTINGS FOR NEW SHOWERS
- INSTALLATION OF ALL SEWER AND VENT PIPING AND FITTINGS FOR NEW SHOWERS

### PIPE MATERIAL SCHEDULE

APPLICATION	LOCATION	SIZE	MATERIAL	JOINING METHOD
SANITARY WASTE/VENT	BELOW GRADE	ALL	SCHEDULE 40 ABS	SOLVENT
	ABOVE GRADE	ALL	SCHEDULE 40 ABS	SOLVENT
DOMESTIC WATER IN OR WITHIN 5' OF BUILDING	BELOW GRADE	ALL	COPPER (TYPE K) W/CORROSION-RESISTANT TAPE	LEAD FREE BRAZED
	ABOVE GRADE	ALL	COPPER (TYPE L OR K)	95/5 SOLDER

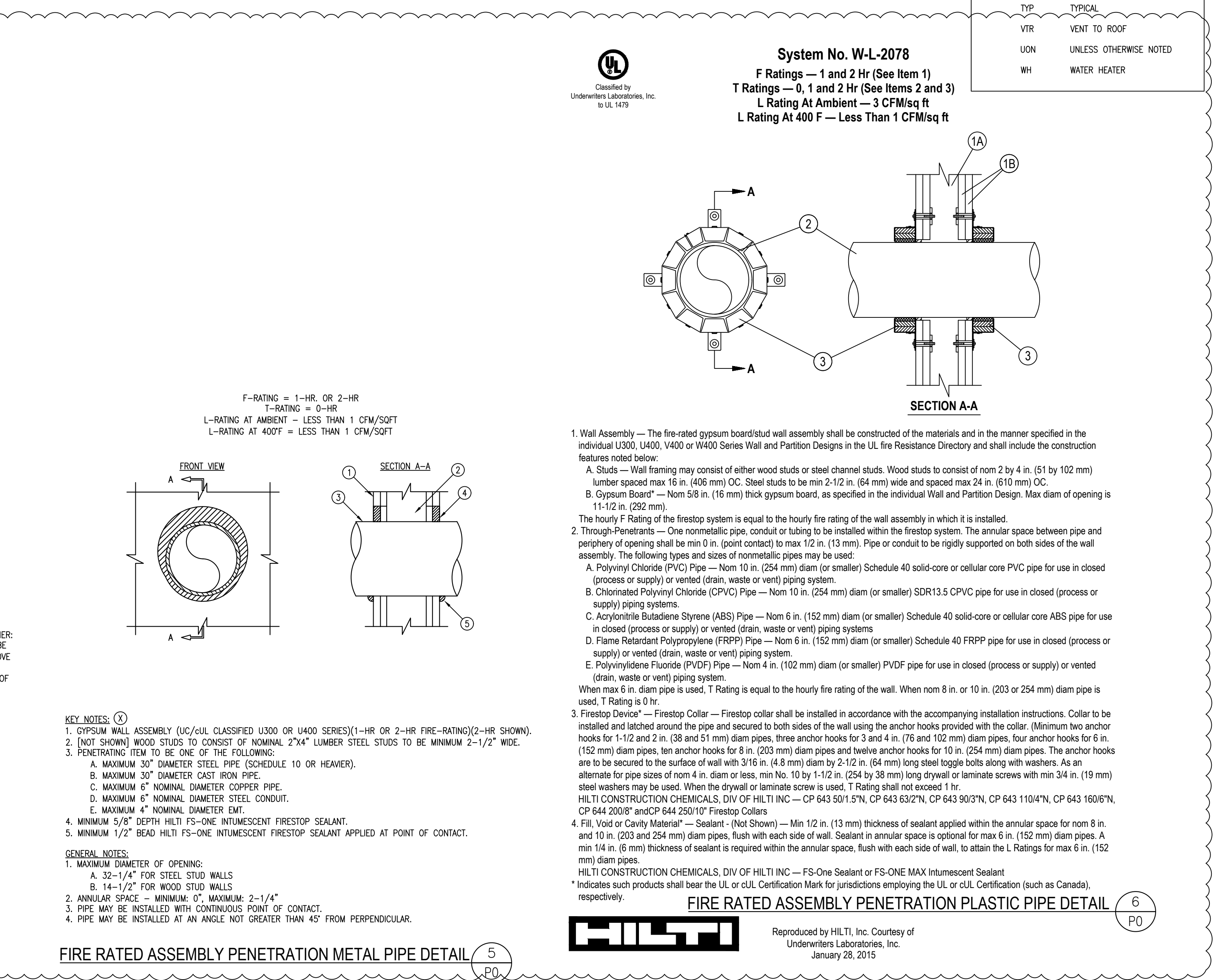
NOTES: ALL PIPING MATERIAL AND JOINING METHODS CONTINGENT ON AUTHORITY HAVING JURISDICTION APPROVAL. ALL BLACK STEEL PIPING EXPOSED TO MOISTURE SHALL BE PROTECTED BY RUST-PREVENTATIVE PAINT. ALL ABS AND PVC PIPING EXPOSED TO SUNLIGHT SHALL BE PROTECTED BY WATER-BASED LATEX PAINT.

### PIPE INSULATION SCHEDULE

TYPE	DIAMETER SIZE (INCHES)	FLUID TEMP RANGE (°F)	INSULATION CONDUCTIVITY (BTU-INCH/HR-FT²-F)	INSULATION THICKNESS (INCHES)
DOMESTIC HOT WATER	≤1	105-140	0.22-0.28	1
DOMESTIC HOT WATER	1-1/4, 1-1/2	105-140	0.22-0.28	1-1/2
DOMESTIC HOT WATER	≥2	105-140	0.22-0.28	2

### WATER HEATER SCHEDULE

TAG	MANU.	MODEL NO.	LOCATION	SERVES	GALLONS CAPACITY			UEF (TE)	STANDBY LOSS MBH (24/HR)	FUEL SOURCE	INPUT MBH (KW)	RECOVERY GPH (GPM)	VENTING	ELECTRICAL		WEIGHT LBS	MAX T-STAT SETPOINT	REMARKS	
					NOMINAL	RATED	1ST HOUR							V-Φ-Hz	AMPS				
WH-1	RHEEM	ELD540-TB	MEN'S LOCKER ROOM	SHOWERS	40	33	46	0.92	N/A	ELECTRIC RESISTANCE	(6.0)	81	ØOFF RISE	N/A	208-3-60	50	484	120°F	-



### PLUMBING LEGEND

POC	POINT OF CONNECTION
GAS POC	GAS POINT OF CONNECTION
ELECTRICAL POC	ELECTRICAL POINT OF CONNECTION
COLD WATER POC	COLD WATER POINT OF CONNECTION
CONDENSATE OR DRAIN POC	CONDENSATE OR DRAIN POINT OF CONNECTION
FLOOR SINK WITH TRAP POC	FLOOR SINK WITH TRAP POINT OF CONNECTION
CLEANOUT	CLEANOUT
FLOOR DRAIN	FLOOR DRAIN
FLOOR SINK	FLOOR SINK
TRAP PRIMER	TRAP PRIMER
WATER HAMMER ARRESTOR	WATER HAMMER ARRESTOR
HOSE BIBB	HOSE BIBB
BACKFLOW PREVENTER	BACKFLOW PREVENTER
SHUT-OFF VALVE	SHUT-OFF VALVE
INSTA-HOT WATER HEATER	INSTA-HOT WATER HEATER
PUMP	PUMP
CW	COLD WATER
HW	HOT WATER
HWR	HOT WATER RETURN
NG	NATURAL GAS
SS	SANITARY SEWER
SSV	SANITARY SEWER VENT
Ø	DIAMETER
AF	ABOVE FINISHED FLOOR
BF	BELOW FLOOR
BHP	BRAKE HORSEPOWER
DFU	DRAINAGE FIXTURE UNIT
FABT	FROM ABOVE, TO BELOW
FBA	FROM BELOW, TO ABOVE
FU	FIXTURE UNIT
FW	FILTERED WATER
GA	GAUGE
GPM	GALLONS PER MINUTE
GW	GREASE WASTE
HP	HORSEPOWER
MAX/MIN	MAXIMUM / MINIMUM
NTS	NOT TO SCALE
TDL	TOTAL DEVELOPED LENGTH
TMW	THERMOSTATIC MIXING VALVE
TYP	TYPICAL
VTR	VENT TO ROOF
UN	UNLESS OTHERWISE NOTED
WH	WATER HEATER

**THE RISING ZONE TENANT IMPROVEMENT**

**5828 LONETREE BLVD,  
ROCKLIN CA 95765**

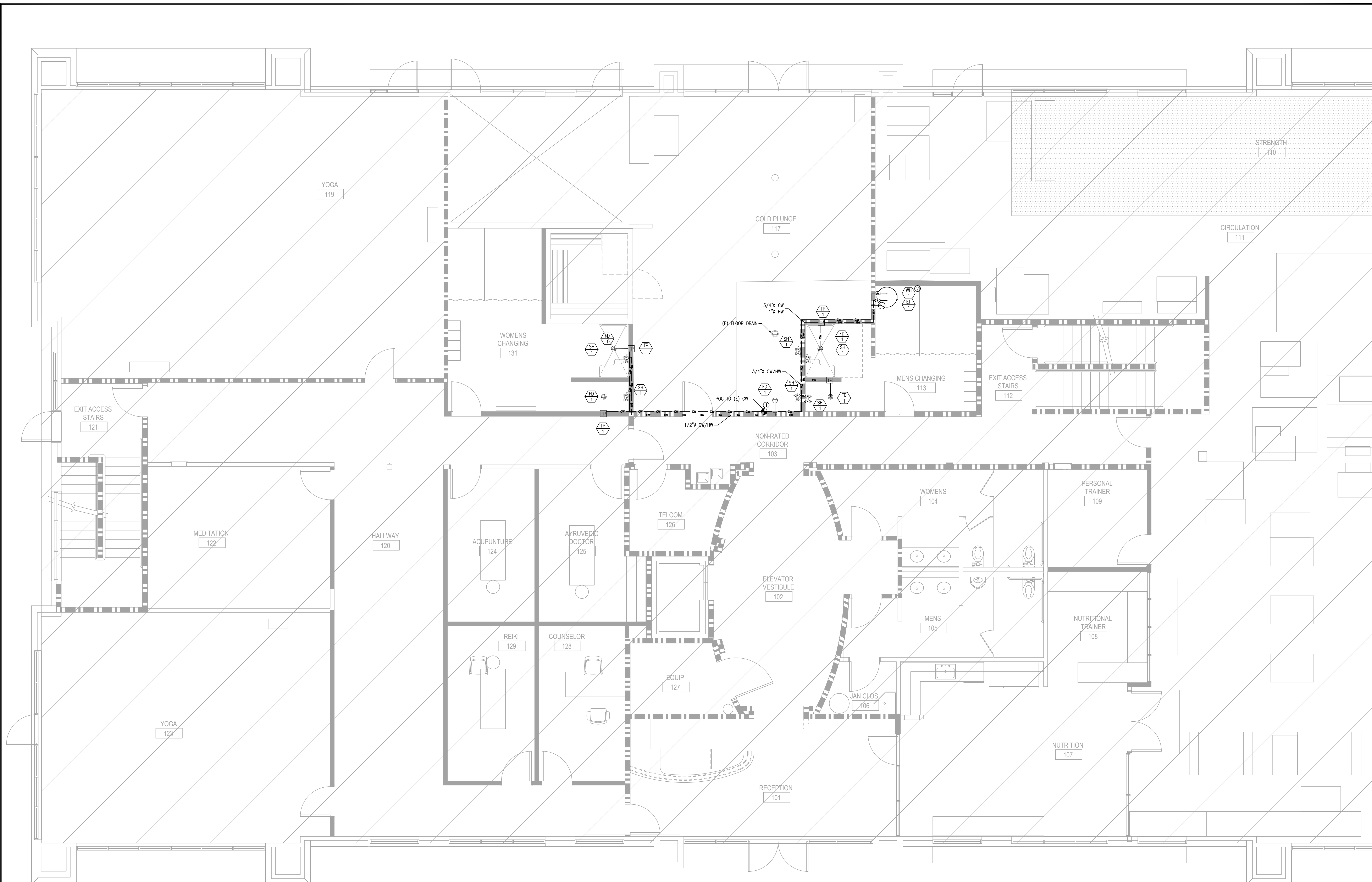
**PLUMBING SCHEDULES, CALCULATIONS, & GEN. NOTES**

**P0**

DATE: 11-08-2023  
 DESCRIPTION: PC COMMENTS  
 REVISION: 1  
 DRAWN: 23157  
 CHECKED: [blank]  
 APPROVED: [blank]  
 ORIGINAL DATE: 06-30-2023

ISSUED FOR: PERMIT DATE: 11-06-2023

REGISTERED PROFESSIONAL ENGINEER  
 STEVEN P. WISNIEWSKI  
 No. MS2225  
 Exp. 12-31-2024  
 5734 LoneTree Boulevard, Rocklin, CA 95765  
 Office: (916) 605-5518 www.epiinc.com



- SHEET NOTES:**
- (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  - ALL APPLIANCES AND FIXTURES/PIPING SHOWN ARE (N) U.O.N.
  - CONTRACTOR SHALL VERIFY THE EXISTENCE OF A BACKFLOW PREVENTION DEVICE AND PERFORM BACKFLOW TESTING. IF REQUIRED BY THE LOCAL JURISDICTION, DEVICE SHALL BE A REDUCED PRESSURE ZONE ASSEMBLY BACKFLOW PREVENTER. IF DEVICE CANNOT BE FOUND, FURNISH/INSTALL AS NEEDED
  - WATER HAMMER ARRESTERS SHALL BE APPROVED MECHANICAL DEVICES IN ACCORDANCE WITH ASSE 1010 AND SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES PER CPC 609.11
  - ALL APPLICABLE PIPING SHALL BE INSULATED IN ACCORDANCE WITH CENC 120.3 AND CPC 609.12. SEE PIPE INSULATION SCHEDULE FOR MINIMUM THICKNESS
  - INSTALL THERMOSTATIC MIXING VALVES (TMV-1) AT ALL FIXTURES WITH DOMESTIC HOT WATER OR WATER HEATERS TO ENSURE MAXIMUM OUTLET TEMPERATURE OF 120°F U.O.N.
  - PROVIDE TRAP PRIMERS AT ALL FLOOR DRAIN LOCATIONS
  - PROVIDE APPROVED THROUGH-PENETRATION FIRESTOPPING METHOD FOR ALL PIPING PENETRATIONS OF FIRE-RESISTANCE-RATED ASSEMBLIES

- KEY NOTES:**
- CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF POC
  - CONTRACTOR TO VERIFY EXACT LOCATION OF WATER HEATER WITH OWNER

DATE	DESCRIPTION	PC COMMENTS
11-06-2023		



ISSUED FOR	DATE
PERMIT	11-06-2023

**OPTIMIZEDENERGY**  
 & FACILITIES CONSULTING, INC.  
 5734 Lonepine Boulevard Rocklin, CA 95765  
 Office: (916) 606-5518 www.oefinc.com

**THE RISING ZONE TENANT IMPROVEMENT**  
 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

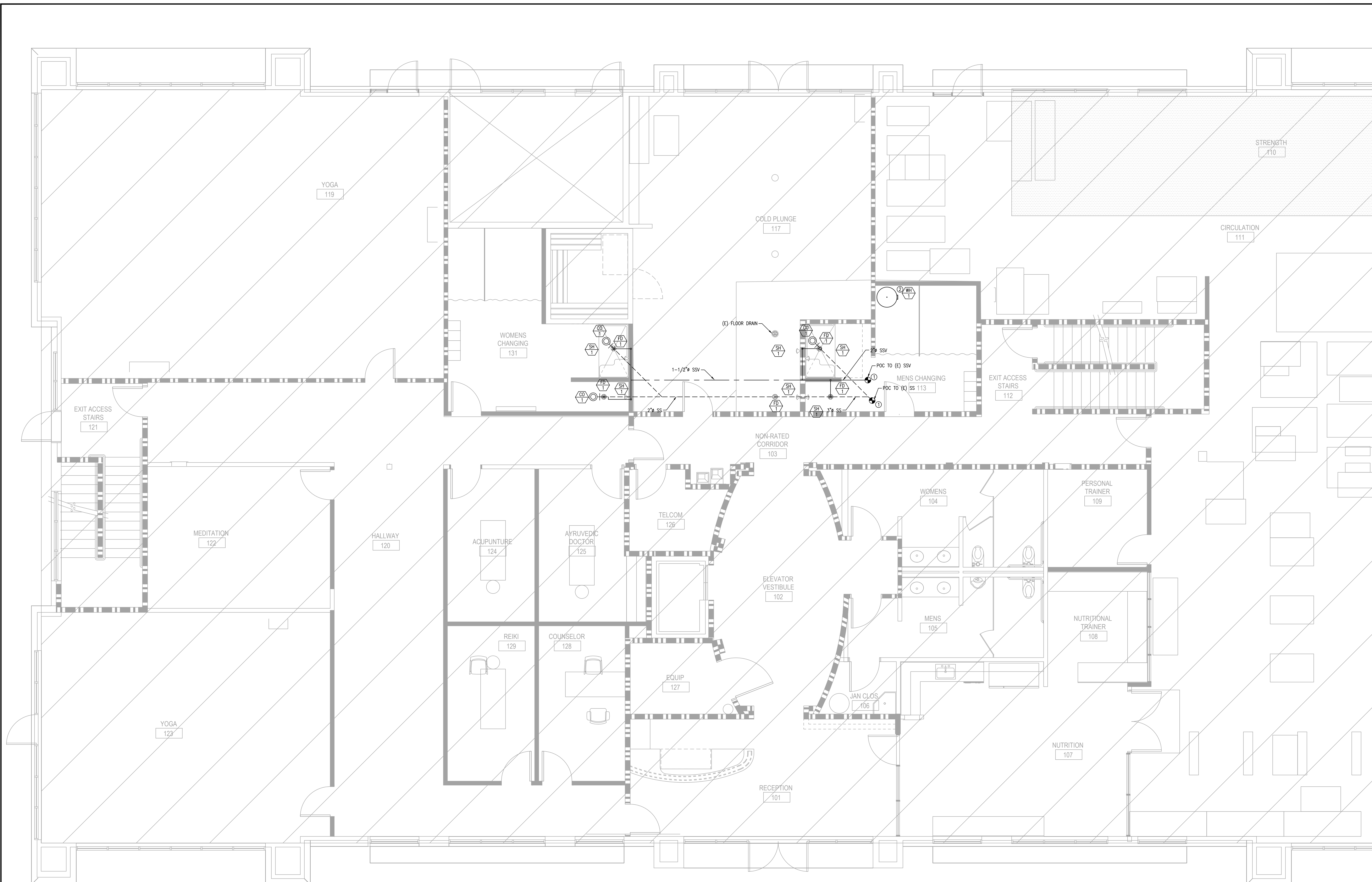
**A PLUMBING PLAN - WATER**  
 SCALE: 1/4"=1'-0"



SHEET TITLE  
**PLUMBING PLAN WATER**

SHEET NO.  
**P1**





- SHEET NOTES:**
- (E) EXISTING  
(N) NEW  
(R) RELOCATED  
(D) DEMO
  - ALL APPLIANCES AND FIXTURES/PIPING SHOWN ARE (N) U.O.N.
  - ENSURE CLEANOUT TO GRADE EXISTS
  - ENSURE 1/4" PER FOOT SLOPE FOR SANITARY SEWER PIPING
  - FLOORS SHALL BE SLOPED TO FLOOR DRAINS PER CPC 418.3
  - PROVIDE APPROVED THROUGH-PENETRATION FIRESTOPPING METHOD FOR ALL PIPING PENETRATIONS OF FIRE-RESISTANCE-RATED ASSEMBLIES

DATE	DESCRIPTION	PC COMMENTS
11-06-2023		



ISSUED FOR	DATE
PERMIT	11-06-2023

**OPTIMIZEDENERGY**  
 & FACILITIES CONSULTING, INC.  
 5734 Lonepine Boulevard, Rocklin, CA 95765  
 Office: (916) 606-5518 www.oefinc.com

- KEY NOTES:**
- CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF POC
  - RELIEF VALVE AND PIPING TO APPROVED EXTERIOR LOCATION

**THE RISING ZONE TENANT IMPROVEMENT**  
 5828 LONETREE BLVD,  
 ROCKLIN CA 95765

SHEET TITLE  
**PLUMBING PLAN  
 SEWER & VENT**

SHEET NO.  
**P2**

**A PLUMBING PLAN - SEWER & VENT**  
 SCALE: 1/4"=1'-0"



STATE OF CALIFORNIA  
CALIFORNIA ENERGY COMMISSION

**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 3 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**A. GENERAL INFORMATION**

01	Project Location (city)	Rocklin	02	Climate Zone	11
03 Occupancy Types Within Project (select all that apply):					
• Support Areas					

**B. PROJECT SCOPE**

This table includes domestic water heating systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive paths outlined in 140.170.2(d) and 141.0(a)(1), 180.1, or 141.0(b)(2), 180.2 for additions or alterations. Solar water heating systems compliance is demonstrated with requirements in 110.1, 110.3, 160.4 and 170.2(d), and with requirements 180.2 for alterations.

01	02	03
My project consists of (check all that apply):	System Type <sup>1,2</sup>	System Components
<input checked="" type="checkbox"/> New system (DHW system being installed for the first time in newly constructed building)	<input checked="" type="checkbox"/> Individual System (serving nonresidential spaces)	<input checked="" type="checkbox"/> Equipment <input checked="" type="checkbox"/> Distribution <input checked="" type="checkbox"/> Controls
<input type="checkbox"/> System Alteration (equipment, distribution or controls)		<input type="checkbox"/> Equipment <input type="checkbox"/> Distribution <input type="checkbox"/> Controls

<sup>1</sup> FOOTNOTES: Point of use water heaters, or other non-central systems used to serve nonresidential spaces, are considered individual systems.  
<sup>2</sup> Dwelling units refers to hotel/motel guest rooms and units in a multifamily residential occupancy.  
<sup>3</sup> DHW systems serving 2 or more dwelling units are considered "Central Systems" for multifamily occupancies

**C. COMPLIANCE RESULTS**

Table C will indicate if the project data input into the compliance document is compliant with water heating requirements. If this table says "DOES NOT COMPLY" or "COMPLIES WITH EXCEPTIONAL CONDITIONS" refer to Table D. or the table indicated as not compliant for guidance.

01	02	03	04
Domestic Hot Water Equipment	Distribution Systems	Controls	Compliance Results
Table F	Table G	Table H	
Yes	Yes	Yes	COMPLIES

**D. EXCEPTIONAL CONDITIONS**

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
Generated Date/Time: Report Version: 2022.0.000  
Documentation Software: EnergyPro  
Compliance ID: EnergyPro-5910-0723-0657  
Report Generated: 2023-07-06 11:48:59

STATE OF CALIFORNIA  
CALIFORNIA ENERGY COMMISSION

**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 4 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**H. DOMESTIC HOT WATER CONTROLS**

This table is used to demonstrate compliance with control requirements in 110.3 for all occupancies. For multifamily residential and hotel/motel occupancies, compliance is also demonstrated with requirements in 160.4(e) / 170.2(d).

	Yes	No	Not Applicable	Requirement
01	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction documents require manufacturer certification that service water-heating systems are equipped with automatic temperature controls capable of adjusting temperature settings per 110.3(a).
02	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Systems with capacity > 167,000 BTUH equipped with outlet temperature controls per 110.3(c)(1) unless covered by California Plumbing Code 613.0.
03	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Controls for circulating pumps or electrical heat trace systems are capable of automatically turning off the system per 110.3(c)(2) unless systems serves healthcare facility.
04	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For recirculation systems serving multiple dwelling units, design includes automatic pump controls per 170.2(d) or 180.1(b)(3) for additions.
05	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For recirculation systems serving individual dwelling units, design includes manual on/off controls as specified in Reference Appendix RAA.4.9 per 170.2(d).
06	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Combustion air positive shut-off shall be provided per 160.4(b)(3) on all newly installed commercial boilers as follows: • Boilers with input capacity >= 2.5 MMbtu/h, in which the boiler is designed to operate with a nonpositive vent static pressure • Boilers where one stack serves two or more boilers with a total combined input capacity per stack of 2.5 MMbtu/h.
07	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boiler combustion air fans with motor >= 10 hp shall meet one of the following: • The fan motor shall be driven by a variable speed drive OR • The fan motor shall include controls that limit the fan motor demand to <=30% of the total design wattage at 50% of the design air volume.
08	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Newly installed boilers with an input capacity [d ghw] 5MMbtu/h and a steady state full-load combustion efficiency < 90% shall maintain excess (stack-gas) oxygen concentrations <= 5% by volume on a dry basis over firing rates of 20-100%. Combustion air volume shall be controlled with respect to firing rate or flue gas oxygen concentration. Use of a common gas and combustion air control linkage or jack shaft is prohibited.

**I. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION**

Form/Title

NRCI-PLB-E - Must be submitted for all buildings

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
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STATE OF CALIFORNIA  
CALIFORNIA ENERGY COMMISSION

**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 2 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**E. ADDITIONAL REMARKS**

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

**F. DOMESTIC HOT WATER EQUIPMENT**

This table is used to demonstrate compliance with mandatory equipment requirements in 110.1 and 110.3. Compliance with prescriptive requirements in 140.5(c) / 170.2(d) must also be demonstrated and with 141.0 / 180.1 / 180.2 for addition and alteration scopes.

**Equipment Schedule: Water Heating Efficiency and Standby Loss**

System Name	03	04	05	06					
RHEEM ELDS40-TB	Exception to 140.5(c) / 170.2(d)(3)		<input type="checkbox"/>	Gas Service Water Heating System >= 1MMbtu/h					
07	08	09	10	11	12	13	14	15	
Name or Item Tag	Equipment Type	Volume (gal)	Rated Input Capacity (Btu/h)	Max GPM / First Hour Rating (FHR)	Rated Efficiency	Minimum Efficiency Required	Efficiency Unit	Designed Standby Loss	Maximum Standby Loss
RHEEM ELDS40-TB	Consumer Rated Electric Storage	33	20,472	18 <= FHR <= 51	0.92	0.85	UEF		

<sup>1</sup> FOOTNOTE: In systems >= 1MMbtu/h with multiple units, gas water heaters with input capacity > 100,000 Btu/h may meet 90% Et requirements via an input capacity-weighted average.

**Water Heating Equipment All Occupancies**

	Yes	No	Not Applicable	Requirement
18	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unfired storage tank insulation shall have Internal < External >= R-16 OR External >= R-3.5. Label required per 110.3(c)(3)
19	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	New state buildings 50% of energy for service water heating from site solar energy or recovered energy per 110.3(c)(5)
20	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Isolation valves for instantaneous water heater with input rating >= 6.8 MBTUH or 2 kW has been specified per 110.3(c)(6)
21	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	School buildings < 25,000 ft <sup>2</sup> and < 4 stories must install a heat pump water heating system per 140.5(a)(1). Water heating systems serving an individual bathroom space may be an instantaneous electric water heater.

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**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 5 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**J. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE**

There are no forms required for this project.

**K. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION**

There are no forms required for this project.

**L. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION**

There are no forms required for this project.

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**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 3 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**G. DOMESTIC HOT WATER DISTRIBUTION SYSTEM**

This table is used to demonstrate compliance for nonresidential occupancies with distribution requirements in 120.3 and 140.5. For multifamily and hotel/motel occupancies, compliance is demonstrated with requirements 110.3(c), 160.4, 170.2(d).

**Mandatory Pipe Insulation All Occupancies**

13	<input type="checkbox"/>	For systems serving dwelling units, pipe insulation must meet the minimum insulation requirements in Table 160.4-A (see below) except: • Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. Piping that penetrates metal framing shall use grommets, plugs, wrapping or other insulating material to assure that no contact is made with the metal framing. Insulation shall abut securely against all framing members. • Piping installed in interior or exterior walls shall not be required to have pipe insulation if all of the requirements are met for compliance with Quality Installation Installation (QII) as specified in the Reference Residential Appendix RA3.5. • Piping surrounded with a minimum of 1 inch of wall insulation, 2 inches of crawlspace insulation, or 4 inches of attic insulation, shall not be required to have pipe insulation.
14	<input checked="" type="checkbox"/>	For systems serving nonresidential spaces, pipe insulation for the following applications is specified to comply with Table 120.3-A (see below) per 120.3: • Recirculating system piping, including supply and return piping of the water heater • The first 8 ft of hot and cold outlet piping, including between storage tank and heat trap, for a nonrecirculating storage system • Pipes that are externally heated
15	<input type="checkbox"/>	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather shall be installed with a cover suitable for outdoor service per 120.3(b) / 160.4(f). Pipe insulation buried below grade must be installed in a water proof and non-crushable casing or sleeve.

**TABLE 120.3-A / 160.4-A PIPE INSULATION THICKNESS**

Fluid Temperature Range (°F)	Conductivity Range (Btu-in per hour per ft <sup>2</sup> per °F)	Insulation Mean Rating Temp (°F)	Nominal Pipe Diameter (in)			
			< 1	1 to < 1.5	1.5 to < 4	1.5 to < 4 Multifamily & Hotel/Motel
105-140	0.22 - 0.28	100	1.0 in or R-7.7	1.5 in or R-12.5	1.5 in or R-11	2.0 in or R-16

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**Domestic Water Heating System**

CERTIFICATE OF COMPLIANCE  
Project Name: The Rising Zone Report Page: (Page 6 of 6)  
Project Address: 5828 Lonetree Blvd Date Prepared: 7/6/2023

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Alex Batista, PE  
Signature Date: 2023-07-06  
Company: Optimized Energy & Facilities Consulting  
Address: 5734 Lonetree Blvd  
City/State/Zip: Rocklin CA 95765  
Phone: 916-626-5518

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I verify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 2 and Part 5 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Steve Wlodevski  
Signature Date: 2023-07-06  
Company: Optimized Energy & Facilities Consulting, Inc  
Address: 5734 Lonetree Blvd  
City/State/Zip: Rocklin CA 95765  
Phone: 916) 626-5518

Registration Number: CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance  
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DATE: 11-06-2023

DESCRIPTION: PC COMMENTS

REVISION: 23157

FORM NO: 23157

DRAWN: [Signature]

CHECKED: [Signature]

DATE: 06-30-2023

ISSUED FOR: PERMIT

DATE: 11-06-2023

**OPTIMIZED ENERGY & FACILITIES CONSULTING, INC.**  
5734 Lonetree Boulevard, Rocklin, CA 95765  
Office: (916) 626-5518 www.oefcinc.com

**THE RISING ZONE TENANT IMPROVEMENT**  
5828 LONETREE BLVD,  
ROCKLIN CA 95765

SHEET TITLE: PLUMBING ENERGY REPORT

SHEET NO: P3

ROOM NUMBER	ROOM NAME	AREA (SF)	Occupancy Type		
Level 1					
101	RECEPTION	293.73	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	1/3	
102	ELEVATOR VESTIBULE	354.34	ANCILLARY	1/3	
103	NON-RATED CORRIDOR	257.16	ANCILLARY	1/3	
104	WOMENS	173.14	ANCILLARY	2/3	0.12
105	MENS	145.29	ANCILLARY	2/3	0.10
106	JAN CLOS.	35.1	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	1/3	
107	NUTRITION	290.44	KITCHENS (COMMERCIAL)	2/3	0.19
108	NUTRITIONAL TRAINER	115.81	BUSINESS AREAS	1/3	
109	PERSONAL TRAINER	98.62	BUSINESS AREAS	1/3	
110	STRENGTH	2304.06	EXERCISE ROOMS	2/3	1.54
111	CIRCULATION	713.3	EXERCISE ROOMS	2/3	0.48
112	EXIT ACCESS STAIRS	183.77	ANCILLARY	1/3	
113	MENS CHANGING	188.35	LOCKER ROOMS	2/3	0.13
117	COLD PLUNGE	789.84	BUSINESS AREAS	2/3	0.53
119	YOGA	1109.34	EXERCISE ROOMS	2/3	0.74
120	HALLWAY	836.29	ANCILLARY	1/3	
121	EXIT ACCESS STAIRS	176.33	ANCILLARY	1/3	
122	MEDITATION	261.07	EXERCISE ROOMS	2/3	0.17
123	YOGA	679.34	EXERCISE ROOMS	2/3	0.45
124	ACUPUNTURE	134.58	BUSINESS AREAS	1/3	
125	AYRUVEDIC DOCTOR	146.58	BUSINESS AREAS	1/3	
126	TELCOM	66.51	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	1/3	
127	EQUIP	66.56	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	1/3	
128	COUNSELOR	135.3	BUSINESS AREAS	1/3	
129	REIKI	136.61	BUSINESS AREAS	1/3	
131	WOMENS CHANGING	247.49	LOCKER ROOMS	2/3	0.16
		9938.95			4.60

6902



**SOUTH PLACER  
MUNICIPAL UTILITY DISTRICT**

March 12, 2024

YDK Investments, LLC  
3705 Villa Serena Circle  
Rocklin, CA 95765

Subject: The Rising Zone (Lonetree Boulevard and Atherton Road)  
APNs: 380-010-008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018,  
-019, and -021  
Additional Sewer Participation Fee

To Whom it May Concern:

It has come to South Placer Municipal Utility District’s (the District) attention that changes/alterations **will be/have been** made to 5828 Lonetree Boulevard, Rocklin, California, to accommodate The Rising Zone. Please be advised that the participation fees originally paid on the building are not sufficient to fully cover this change/alteration in usage. Accordingly, an additional sewer participation fee is due. Based on the Declaration of Density Form, plans, and other information the sewer participation fee for the above project has been determined by the District to be as follows:

CLASSIFICATION: Mixed Density / Multiple Use – Composite Charge  
(Various Equivalent Dwelling Units (EDU) / 1,000 square feet (sq. ft.) per District Sewer Code)

The Rising Zone (22,328 sq. ft.)

First floor (11,164 sq. ft):

Sports/Fitness Center (w/ Showers) (6,902 sq. ft)  
High Density User – Sports/Fitness Center (w/ Showers)  
(2/3 EDU per 1,000 sq. ft. per the District’s Sewer Code)  
6,902 sq. ft. @ 2/3 EDU / 1,000 sq. ft. = 4.60 EDU

Office/Chiropractic Office (4,262 sq. ft)  
Medium Density User – Chiropractic Office and Office other than Medical/Dental  
(1/3 EDU per 1,000 sq. ft. per the District’s Sewer Code)  
4,262 sq. ft. @ 1/3 EDU / 1,000 sq. ft. = 1.42 EDU

Second floor (11,164 sq. ft):

Office (11,164 sq. ft)  
Medium Density User – Office other than Medical/Dental  
(1/3 EDU per 1,000 sq. ft. per the District’s Sewer Code)  
11,164 sq. ft. @ 1/3 EDU / 1,000 sq. ft. = 3.72 EDU

Total EDU Assessment	9.74 EDU
(Less credits, previously paid)	<u>7.44 EDU</u>
	Balance = 2.30 EDU

Total = 2.30 EDU × \$14,767\* = \$33,964.10

**Total Due = \$33,964.10** \*(rate currently in effect)

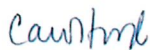
The additional fee has been figured on the size and usage of the space and the determination is consistent with the District’s Sewer Code and similar projects within the District. Under the District’s Sewer Code, the fee is due and payable immediately upon the completion of the change / alteration and must be paid prior to occupancy. The fee may be paid earlier if so desired. Please be advised that all fees are the responsibility of the record owner of the real property.

Please be aware that all fees are subject to change and the amount due will be based on the rates and ordinances then in effect when payment for the application to connect to the sewer is made, or when/if any subsequent changes occur in the EDU density that result in additional fees being due. There is an increase in the basic rate that is regularly scheduled to occur effective July 1<sup>st</sup> of each year. The amount due, if paid on or after the effective date, will be required to be paid at the new rate. Please feel free to call the District prior to payment for current rate information or check the District website: <https://spmud.ca.gov/tenant-improvement-plan-check-process>.

The subject matter contained in this letter is material to the real property and project, and should be disclosed to any/all prospective buyer(s) and/or future property owner(s).

If there are any questions, please do not hesitate to contact the District. The District’s Sewer Code can be viewed at the District’s website: <https://spmud.ca.gov/specifications-and-ordinances>.

Sincerely,



Carie Huff, P.E.  
District Engineer

March 22, 2024

Emillie Costan  
Board Secretary  
South Placer Municipal Utility District (SPMUD)

**Reference: Submittal for The Rising Zone**

Dear Emillie,

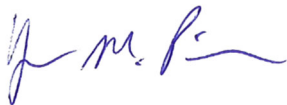
I am writing to formally appeal the cost of \$33,964.10 for the additional participation fee that accompanies our plan to add four showers to The Rising Zone fitness changing rooms. After careful consideration of the circumstances, I believe that an appeal is warranted due to miscalculations of the square footage. Our first floor (11,164 sf) is most closely aligned with a Medium Density User. However, the calculation the District provided split out our use as 6,902 sf as High Density User and 4,262 sf as Medium Density User. The second floor (11,164) is all office space.

We are not a high-volume, full-service gym, we are a smaller, more boutique with only 120 members who would be utilizing the shower space. Average daily check-in for the strength zone members is currently only 24 people. The scope of work for the shower space is only 440 square feet.

We have worked directly with our architect, our contractor, the city of Rocklin, and SPMUD to get this resolved quickly and correctly. I respectfully request that you review my appeal with utmost consideration and fairness. I am confident that upon further examination of the facts presented, you will see merit in my appeal.

Thank you for your attention to this matter. I look forward to a prompt response.

Regards,

A handwritten signature in blue ink, appearing to read 'Yvonne M. Pire', with a stylized flourish at the end.

Yvonne M. Pire, Managing Member  
YDK Investments, LLC

SOUTH PLACER MUNICIPAL UTILITY DISTRICT POLICIES

Policy Name:	3350 – DEFERRED PARTICIPATION CHARGES		
Approval Authority:	SPMUD BOARD OF DIRECTORS	Adopted:	11/05/15
Resolution No.	97-09, 13-08, 15-26, 17-34	Revised:	11/02/17

**PURPOSE**

The purpose of this policy is to establish criteria to accommodate the short term deferral of the payment of Sewer Participation Charges required by the District for the privilege of connecting to the District's wastewater system.

**POLICY STATEMENT**

**Section 1: General**

The District requires the payment of Sewer Participation Charges to offset the cost of connecting to the District's wastewater system. In some cases, payment of these charges poses a significant burden on certain residential, commercial or industrial users. To accommodate these users, the District has established a procedure for the short term deferral of the payment of these charges.

**Section 2: Qualifications**

In order to qualify for the Participation Fee Deferral Program, a project must meet one of the following criteria:

1. Existing commercial or industrial businesses relocating within the District, expanding facilities or changing use in a way that additional Participation Fees are due the District, where a hardship can be demonstrated, as determined by the General Manager.
2. New commercial or industrial projects that provide an economic community benefit and where a hardship can be demonstrated, as determined by the General Manager.
3. Single-family residential home where a hardship can be demonstrated, as determined by the General Manager.

**Section 3: Payment Plan**

The applicant for sewer services for any project(s) that qualify may request that the Participation fees which would be due to the District be paid through a deferred payment plan in accordance with the following conditions:

1. This policy applies to single parcel ownership.
2. The proposed usage shall be known, with no estimates for density or usage.
3. Applicant shall enter into a deferred payment agreement with the District.

4. No deferred payment agreement shall be in excess of five (5) years for commercial and industrial projects and one (1) year for residential projects.
5. Deferred payment agreements are non-transferrable.
6. The District shall charge interest on the amount of Participation fees deferred at the Wall Street Journal (WSJ) Prime Rate plus two percentage (2%) points per annum.
7. Any such deferral payment agreement shall be recorded and shall contain a provision authorizing the District to impose a lien on the property served in the event of default or non-payment of any installment payment when due.
8. Prior to the approval of any deferred payment agreement in excess of five (5) Equivalent Dwelling Units (EDU's), the General Manager shall submit a written report to the Board of Directors, for approval, citing the justification for the deferral, the terms of the repayment plan, and a listing of the current outstanding obligations due the District under these payment deferral plans.

**Section 4: Delegation to the General Manager**

The Board of Directors delegates the following authority to the General Manger:

1. To determine whether an applicant meets the qualifications set forth in Section 2, above.
2. To execute deferred payment agreement for connections of five (5) Equivalent Dwelling Units (EDU's) or less, provided that the application meets the requirement of Sections 2 and 3, above. All other requests for deferred payment agreements must be approved by the Board of Directors.



**SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
STAFF REPORT**

**To:** Board of Directors  
**From:** Emilie Costan, Administrative Services Manager  
**Cc:** Herb Niederberger, General Manager  
**Subject:** Resolution 24-07, Updating the Investment of District Funds Strategy  
**Meeting Date:** April 4, 2024

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**Overview**

The South Placer Municipal Utility District (District) operates in accordance with the Municipal Utilities District (MUD) Act of California which is codified in the State of California Public Utilities Code §11501, et seq. Public Utilities Code §12871 allows the District to invest surplus money in its treasury and the California Government Code, primarily §53601 and related subsections, authorize the types of investment vehicles allowed in a California local agency's portfolio. The investment vehicles emphasize the preservation of capital and conservative investments, and the District is not permitted to purchase an investment that is not specifically authorized by law and within the scope of investments designated by the District's Board of Directors.

On December 3, 2015, the Board of Directors adopted Board Policy 3120 – Investment of District Funds. In February 2016, the District adopted a strategy for the investment of District funds which was later revised by Resolution 18-15. One of the ways the District managed its exposure to interest rate risk was by purchasing a combination of short and long-term investments and timing cash flows from maturities so that a portion of the portfolio was maturing or coming close to maturity evenly over time as necessary to provide the cash flow and liquidity needed for District operations. Per Resolution 18-15, as fixed-income securities being held in the long-term portfolio matured, rather than reinvesting them into other fixed-income securities, the proceeds were distributed evenly among the Cal Trust Medium Term Holdings and the Placer County Treasury. On January 7, 2021, the Board adopted Resolution 21-01, Updating the Strategy for the Investment of District Funds, to allow the District to move the remaining fixed-income securities to any of the District's investment pools as they matured depending on market conditions and quarterly performance. By October 2021, all fixed-income securities had matured with all funds transferred to other investment vehicles.

Due to market fluctuations and the unprecedented low-interest rates seen in 2020 and 2021, as the remaining fixed-income securities matured it did not make sense to move the funds into new medium-term or long-term investment vehicles. With interest rates rising in 2022 and 2023, as the Federal Reserve increased rates to combat persistently high inflation, short-term fixed-income funds began to provide consistent quarterly interest earnings resulting in an inverted curve whereby shorter-term investments have been performing better than longer-term investments. The Federal Reserve has indicated that it may begin lowering rates in 2024. The Fee & Finance Committee

met on February 9<sup>th</sup> and March 26<sup>th</sup> to discuss managing interest rate risk by reinvesting in fixed-income securities. The Fee & Finance Committee recommended forwarding a proposal to the full Board to invest \$15 million in fixed-income securities through Wells Fargo Securities.

The District's updated investment strategy would distribute \$15 million in fixed-income securities purchased through Wells Fargo with the remaining investments spread amongst California CLASS, CalTRUST, Placer County Treasury, Five Star Bank, and the Local Agency Investment Fund (LAIF) depending on market conditions and quarterly performance. At no time shall any one investment pool contain more than 75% of the District's investment portfolio.

**Recommendation**

Staff recommends that the Board of Directors adopt Resolution 24-07, Updating the Investment of District Funds Strategy.

**Strategic Plan Priorities**

This action is consistent with SPMUD Strategic Plan Priorities:

- Prepare for the future and foreseeable emergencies.
- Provide exceptional value for the cost of sewer service.

**Related District Ordinances and Policies**

This action is in conjunction with the following District Policies:

- Policy 3120 – Investment of District Funds
- Policy 3130 – District Reserve Policy

**Fiscal Impact**

This action has the potential to increase the long-term rate of return on District investments thereby increasing the funds available in the District's treasury to support operating expenses with minimal rate increases and construct capital projects that serve the long-term needs of the community.

**Attachments**

1. Resolution 24-07 Updating the Investment of District Funds Strategy

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT**

**RESOLUTION NO. 24-07**

**UPDATING THE INVESTMENT OF DISTRICT FUNDS STRATEGY**

WHEREAS, Public Utilities Code § 12871 allows the District to invest money in its treasury; and,

WHEREAS, on December 3, 2015, the Board of Directors approved Resolution 15-27 which adopted Policy No. 3120 - Investment of District Funds; and

WHEREAS, the District adopted Resolution 16-04 which was revised by Resolution 18-15 divesting the District of certain fixed-income securities held in the long-term portfolio and by October 2021 all fixed-income securities had matured and been transferred to other investment vehicles; and

WHEREAS, for the last few years shorter-term investments have had higher returns than new medium-term or long-term investments; and

WHEREAS, the Federal Reserve has indicated that it may start lowering rates in 2024; and

WHEREAS, Consistent with the three primary principals of public fund investment, 1). Safety, 2). Liquidity and 3). Return on Investment, in that order of priority, the District may respond to market conditions and quarterly performance indicators to distribute investments amongst the appropriate investment pools; and

WHEREAS, per Government Code §53601 and District Policy No. 3120 - Investment of District Funds, the District shall not have more than 75% of the District's investment portfolio in a single investment pool.

NOW, THEREFORE BE IT RESOLVED by the Board of Directors of the South Placer Municipal Utility District that in accordance with the aforementioned Policy No. 3120 - Investment of District Funds, the investment strategy shall be updated to allow the District to invest \$15 million in fixed-income securities purchased through Wells Fargo with the remaining investments spread amongst California CLASS, CalTRUST, Placer County Treasury, Five Star Bank, and the Local Agency Investment Fund (LAIF) depending on market conditions and quarterly performance.

PASSED AND ADOPTED at a Regular Meeting of the South Placer Municipal Utility District Board of Directors at Rocklin, CA this 4th Day of April 2024.

Signed: \_\_\_\_\_

James Durfee, President of the Board of Directors

Attest: \_\_\_\_\_

Emilie Costan, Board Secretary

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
STAFF REPORT**

**To:** Board of Directors

**From:** Herb Niederberger, General Manager

**Cc:** Carie Huff, District Engineer  
Emilie Costan, Administrative Services Manager  
Eric Nielsen, Superintendent

**Subject:** Resolution 24-08, Opposing California Initiative 1935 (aka Initiative 21-0042A19)

**Meeting Date:** April 4, 2024

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**Overview**

There is a possibility that Initiative 1935 (aka Initiative 21-0042A19) may qualify for the November 2024 Election. Initiative 1935, named the “Limits Ability of Voters and State and Local Governments to Raise Revenues for Government Services Initiative Constitutional Amendment” seeks to limit the State’s and local agencies’ ability to generate revenues by broadening the definition of what constitutes a tax, increasing voter and government approval thresholds in some cases, and adding procedural election requirements. It seeks to overturn recent judicial decisions holding that local initiative tax measures require approval of only a majority vote.

Information provided by the California Special District Association (CSDA) states that if passed the initiative would revise the state Constitution to significantly undermine local control and the ability of local governments to provide services and infrastructure. CSDA indicates that Initiative 1935 would result in billions lost annually in state and local funding, disrupting the ability of voters, local agencies, and the State of California to fund services and infrastructure by:

- Adopting new and severely stricter rules for raising taxes, fees, assessments, and other charges.
- Revising the State Constitution, as amended by Propositions 13, 218, and 26 among other provisions creating new grounds to challenge these funding sources and disrupting fiscal certainty.
- Restricting the ability of local governments to issue fines and penalties to corporations and property owners that violate local environmental, water quality, public health, public safety, fair housing, nuisance, and other laws and ordinances.

The initiative could retroactively void all state and local taxes or fees adopted after January 1, 2022, if they did not align with the provisions of this initiative. Our rates and capacity charges were adopted in 2023 and could be affected by the passage of Initiative 1935.

CSDA and others have filed an amicus brief arguing that the measure is an unlawful revision of the state constitution because of the ways the measure would redistribute authority between state and local governments, undermine essential functions of local governments, and because the ballot measure is so poorly drafted that it raises many interpretive issues that will not be simply resolved without requiring extensive litigation after passage. The brief urges the Court to act before the measure is placed on the ballot for the November election because planning impacts are being felt now and could impair essential government services. The California Supreme Court is likely to rule on the pre-election challenge before the end of June, when the Secretary of State is anticipated to formally qualify the measure for the November 2024 ballot.

The District has been asked by CSDA to provide a resolution opposing California Initiative 1935 (aka Initiative 21-0042A19).

### **Recommendation**

Staff recommends that the Board of Directors adopt Resolution 24-08, opposing California Initiative 1935 (aka Initiative 21-0042A19).

### **Strategic Plan Priorities**

Provide exceptional value for the cost of sewer service.

- 1) Maintain low service charges while meeting established service levels.

### **Fiscal Impact**

The Passage of Initiative 1935 has the potential to adversely impact District revenues from both monthly service charges and capacity fees, rendering the District unable to provide an acceptable level of service to customers.

Attachments:

1. Resolution 24-08, A Resolution Opposing California Initiative 1935 (aka Initiative 21-0042A19)

**SOUTH PLACER MUNICIPAL UTILITY DISTRICT**

**RESOLUTION NO: 24-08**

**RESOLUTION OPPOSING CALIFORNIA INITIATIVE 1935**

**(AKA INITIATIVE 21-0042A19)**

**WHEREAS**, the South Placer Municipal Utility District was formed in 1956 under the Municipal Utility District Act of the State of California (MUD ACT, California Public Utilities Code §11501, et al); and

**WHEREAS**, the South Placer Municipal Utility District provides a public sewer collection system in accordance with the MUD Act serving customers within the Town of Loomis, the City of Rocklin, and unincorporated parts of Placer County; and

**WHEREAS**, an association representing California’s wealthiest corporations and developers is spending millions to push a deceptive proposition aimed at the November 2024 statewide ballot; and

**WHEREAS**, the proposed proposition, Initiative 1935 (aka Initiative 21-0042A19) has received the official title: the “Limits Ability of Voters and State and Local Governments to Raise Revenues for Government Services Initiative Constitutional Amendment;” and

**WHEREAS**, the measure includes provisions that would make it more difficult for local voters to pass measures needed to fund local services and infrastructure, and would limit voter input by prohibiting local advisory measures where voters provide direction on how they want their local tax dollars spent; and

**WHEREAS**, the measure exposes taxpayers to a new wave of costly litigation, limits the discretion and flexibility of locally elected boards to respond to the needs of their communities, and injects uncertainty into the financing and sustainability of critical infrastructure; and

**WHEREAS**, the measure severely restricts state and local officials’ ability to protect our environment, public health and safety, and our neighborhoods against corporations and others who violate the law; and

**WHEREAS**, the measure creates new constitutional loopholes that would allow corporations to pay less than their fair share for the impacts they impose on our communities, including local infrastructure, our environment, water quality, air quality, and natural resources; and

**WHEREAS**, the measure threatens billions of dollars currently dedicated to state and local services, and could force cuts to the South Placer Municipal Utility District, as well as public schools, fire and emergency response, law enforcement, public health, parks, libraries, affordable housing, services to address homelessness, mental health services, and more; and

**WHEREAS**, the measure would also reduce funding for critical infrastructure like streets and roads, public transportation, ports, drinking water, sanitation, utilities, and more.

**THEREFORE, BE IT RESOLVED** that the South Placer Municipal Utility District, opposes Initiative 1935 (aka Initiative 21-0042A19) and will join the *No on Initiative 1935 (aka Initiative 21-0042A19)* coalition, a growing coalition of public safety, labor, local government, infrastructure advocates, and other organizations throughout the state.

PASSED AND ADOPTED at a Regular Meeting of the South Placer Municipal Utility District Board of Directors at 5807 Springview Drive, Rocklin, CA this 4<sup>th</sup> day of April 2024.

Signed: \_\_\_\_\_  
James Durfee, President of the Board of Directors

Attest: \_\_\_\_\_  
Emillie Costan, Board Secretary



**GENERAL MANAGER REPORT**

To: Board of Directors  
From: Herb Niederberger, GM  
Date: March 7, 2024  
Subject: General Manager Monthly Staff Report – February 2024

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**1) DEPARTMENT REPORTS**

Attached are the monthly status reports for the Board’s information:

- A. Administrative Services Department,
- B. Field Services Department, and
- C. Technical Services Department.

The Department Managers are prepared to answer any questions from the Board.

**2) INFORMATION ITEMS**

- A. On March 5, 2024, the General Manager was the keynote speaker at the Lions Club of Loomis luncheon where he gave an informative presentation regarding the District. “SPMUD – Where Your #2 is our #1.”
- B. On March 6, 2024, the General Manager, along with President Durfee, Vice President Jewell, and Directors Williams and Mitchell attended the Joint Chamber of Commerce Government Relations meeting to hear an update on legislation from State Senator Roger Niello.
- C. Also on March 6, 2024, the General Manager conducted a Zoom Meeting with District General Counsel to discuss the following: 1) litigation regarding sewer service at 2325 Taylor Road; and 2) the Retirement Health Reimbursement Arrangement (RHRA) through American Fidelity.
- D. On March 7, 2024, the General Manager, District Engineer, Carie Huff, and District Superintendent, Eric Nielsen, participated in a Microsoft Teams meeting with representatives of the City of Roseville Utilities Department to discuss items necessary for the transfer of assets south of Highway 65.
- E. On March 11, 2024, the General Manager, District Engineer, Carie Huff, and District Superintendent, Eric Nielsen, participated in a Microsoft Teams meeting with representatives of the City of Roseville and Placer County to discuss preliminary findings and next steps in the South Placer Wastewater Authority ongoing efforts to conduct a study of Equivalent Dwelling Units.

- F. On March 19, 2024, the General Manager and the Administrative Services Manager participated in a Microsoft Teams meeting with CPS -HR Consultants to discuss the brochure and schedule for the recruitment of a new General Manager.
- G. On March 21, 2024, the General Manager met with District General Counsel to discuss the following: 1) Taylor vs. SPMUD discovery request for information (RFI); 2) Lucille’s next steps; 3) PCWA information sharing agreement; 4) Caltrans/Nuline invoice for damages; 5) Miller Sewer Easement Acquisition Agreement; 6) RHRA through American Fidelity, and 7) Asset Transfer Agreement w/ the City of Roseville.
- H. On March 22, 2024, the General Manager and the Administrative Services Manager met with representatives from Sierra College to discuss a new services agreement for monthly service and capacity charge payments in accordance with the District Sewer Code.
- I. On March 28, 2024, the General Manager participated in the District All-hands meeting. Employees were provided with information on other investment opportunities for the District-sponsored 457 Deferred Compensation Plan.
- J. Advisory Committee Meetings:
  - i. The Fee and Finance Advisory Committee met to discuss 1) investment strategies for the District reserves; 2) funding for a study for the electrification of the District’s Fleet and 3) increases in the costs of insurance and exploration of alternate coverage options.

There were no other advisory committee meetings in February.

**3) PURCHASE ORDERS/CONTRACTS INITIATED UNDER GENERAL MANAGER AUTHORITY**

<b>PO Req#</b>	<b>Date</b>	<b>Vendor</b>	<b>Description</b>	<b>Amount</b>
399	3/27/2024	Tyler Incode	Annual Software Renewal	\$40,099

**4) LONG RANGE AGENDA**

**May 2024**

- Quarterly Investment Report
- Consolidation of Election with Placer County
- Award Janitorial Services Contract
- Approve Updated Investment Strategy
- Fleet Electrification Update

**June 2024**

- Award CIPP Liner Contract
- FY 2024/25 Budget Workshop
- Adopt FY 2024/25 Fee Schedule

- Delinquent Account Assignment
- SDRMA Ballot

**July 2024 (rescheduled to June 27, 2024)**

- Adopt FY 2024/25 Budget
- Report on SPWA Board Meeting

Item 7.2.1

ITEM VIII. ASD REPORT

To: Board of Directors

From: Emilie Costan, Administrative Services Manager

cc: Herb Niederberger, General Manager

Subject: Administrative Services Department Monthly Report

Board Date: April 4, 2024

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**Laserfiche Upgrade**

On March 15<sup>th</sup>, the District’s Laserfiche software was upgraded to the most current version of the software and tested to ensure that all functionalities of the program were working as intended.

**Employee All Hands**

At the March All Hands meeting, the Administrative Services Manager coordinated a presentation by CalPERS about their deferred compensation plan administered through VOYA Financial. Employees could sign up for individual retirement planning sessions following the presentation.

**Sierra College Billing**

On March 22<sup>nd</sup>, the Administrative Services Manager and General Manager met with representatives from Sierra College to discuss transitioning to standard billing for their monthly service charges as well as capacity charges pertaining to the College’s Facilities Master Plan.

**Laddered Investments**

The Administrative Services Manager is continuing to work on a proposal for an appropriately structured, laddered fixed-income investment account for the District’s investment portfolio. The Fee & Finance Advisory Committee met on March 26<sup>th</sup> to review a proposal that will be presented at the May Board meeting.

**March Monthly Investment Transactions per GC §53607**

**DEPOSITS, TRANSFERS, OR WITHDRAWALS**

CalTRUST: None

CA CLASS: None

LAIF: None

Placer County: None

Five Star MM: None

ITEM VII. FSD REPORT

**To:** Board of Directors  
**From:** Eric Nielsen, Superintendent  
**Cc:** Herb Niederberger, General Manager  
**Subject:** Field Services Department Monthly Report  
**Meeting Date:** April 4, 2024

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**Department Overview**

This section provides the Board with an update on the news and major tasks from the Field Services Department (FSD).

**1. Supervisory Control and Data Acquisition (SCADA) Replacement**

- a. District staff is reviewing and providing comments on the project specifications.
- b. The consultant is incorporating comments from the 60% design workshops in the 90% plans.
- c. Construction/implementation of the identified SCADA improvements is targeted to start in the summer of 2024.

**2. Taylor Road Lift Station Damage Repair**

- a. District staff sent the final invoice for reimbursement to the Caltrans contractor which damaged the District's power pole, conduit, and wiring and is awaiting payment.
- b. The District has not yet received payment and is in contact with Caltrans.

**3. Vehicles Out of Service**

- a. Two of the District's vehicles have been placed out of service indefinitely until they can receive a smog inspection and a certificate of compliance. Staff drove each vehicle over 30 times over the course of three months in attempts to reset the sensors to allow the inspection. The vehicle manufacturer has instructed that the District needs to drive each vehicle another 7,500 miles. The District is reaching out to elected officials looking for relief in return-to-service.

**4. Advanced Clean Fleets Regulation**

- a. The California Air Resources Board (CARB) approved the Advanced Clean Fleets Regulation (ACF) in April 2023 as part of its strategy to accelerate a large-scale transition to zero-emissions medium- and heavy-duty vehicles.
- b. Required compliance information has been submitted to CARB's reporting system before the April 1, 2024 deadline.
- c. Staff intends to present additional information regarding the requirements of the ACF to the Board at the May meeting.

**5. Regulatory Updates and Professional Development**

- a. The District Superintendent attended SDRMA’s Risk Management Workshop in El Dorado Hills on March 21, 2024.

**Reporting**

This section provides the Board an overview of the Field Services Department operations and maintenance activities through 2/29/2024. The work listed is not all inclusive.

**1. Lost Time Accidents/Injuries (OSHA 300)**

- a. Zero (0)
  - i. 2738 days (7.5 years) without a Lost Time Accident/Injury

**2. Safety/Training/Professional Development**

- a. Field Services employees participated in training for the following:
  - i. Confined Space Entry
  - ii. Harassment Prevention
  - iii. Eye Protection
  - iv. Fatigue Prevention

**3. Customer Service Calls**

- a. Response Time Goals over the Last 12 Months

	Goal	Average	Success Rate
During Business Hours	< 30 minutes	19 min	97%
During Non-Business Hours	< 60 minutes	46 min	

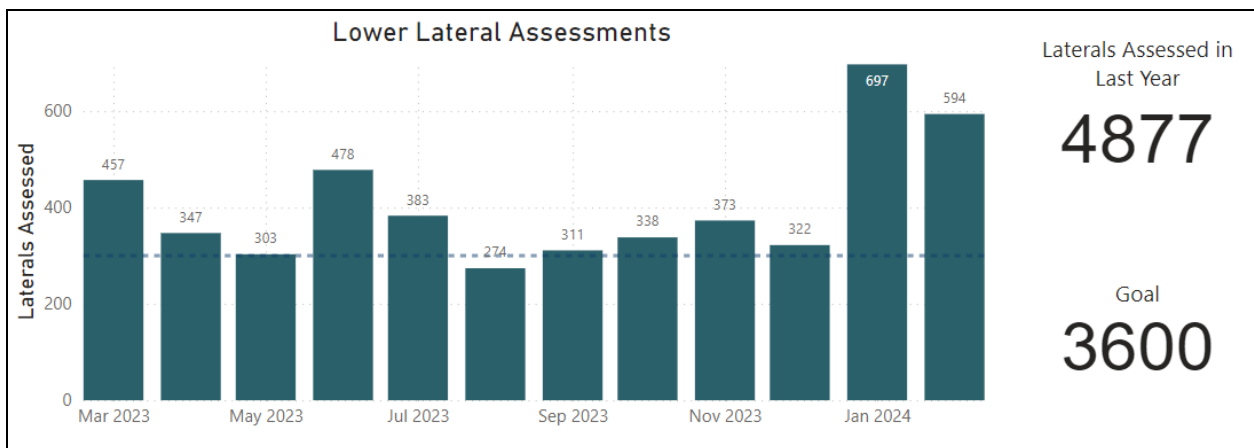
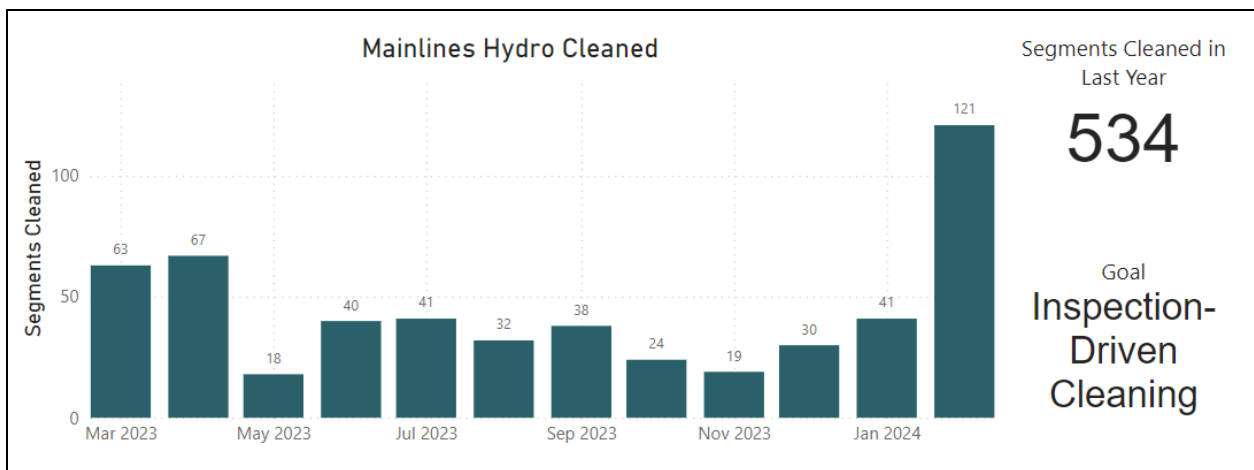
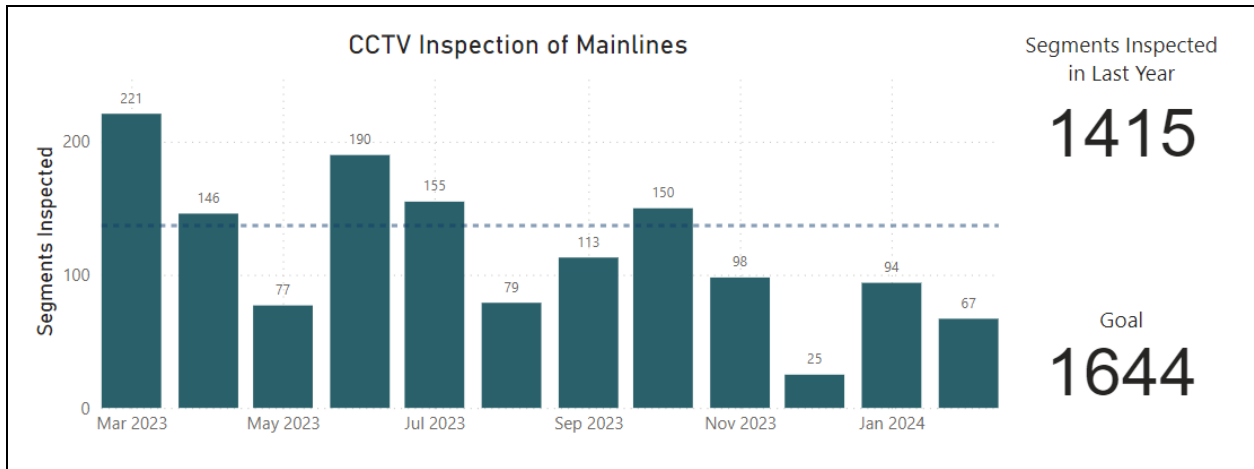
**Service Calls - February**

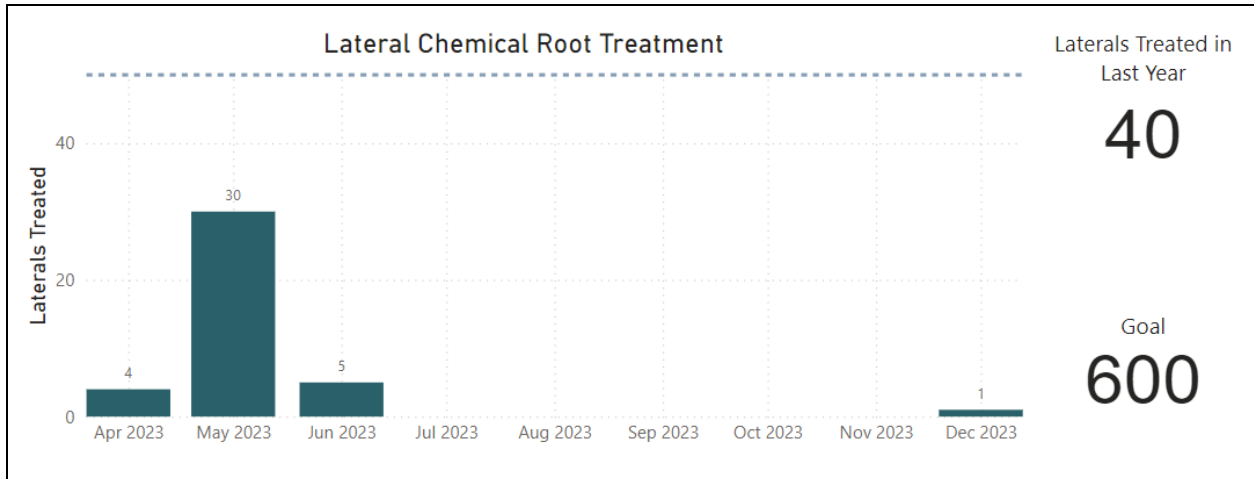
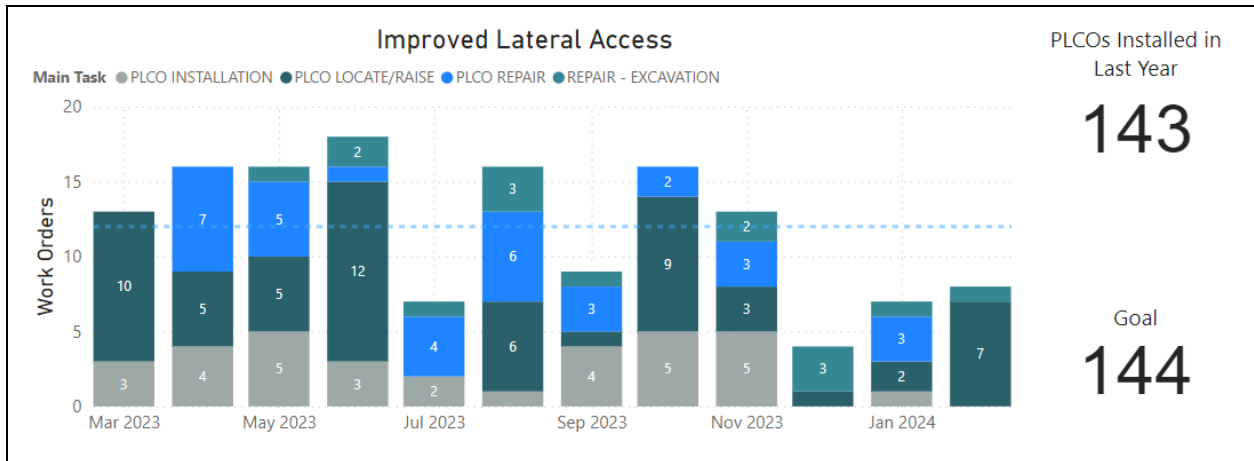
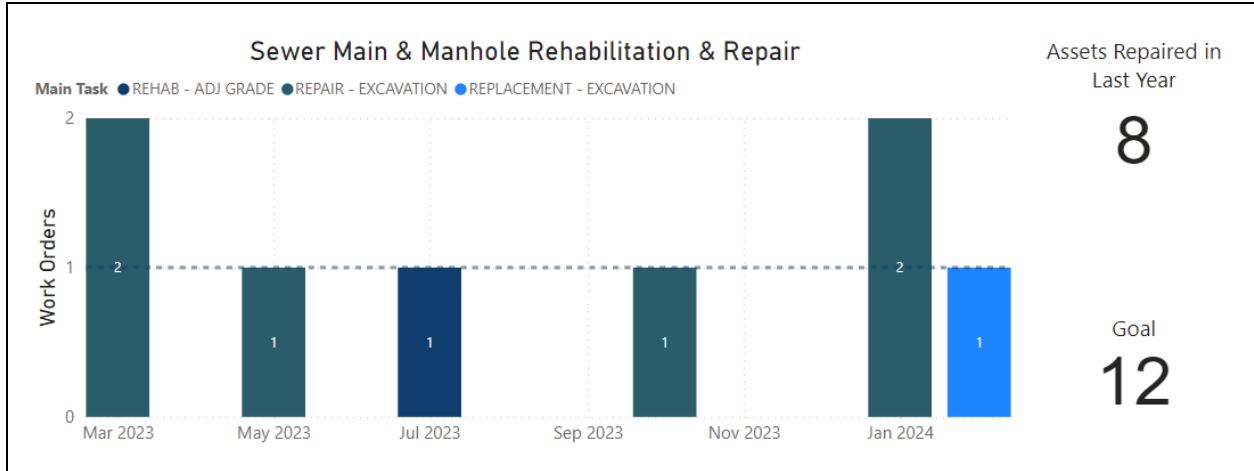
Responsibility	Spill	Stoppage	Odor	Alarm	PLSD	Vermin	Misc
SPMUD Responsibility	4	1		3			1
Owner Responsibility		3			5		1
N/A							1
<b>Total</b>	<b>4</b>	<b>4</b>		<b>3</b>	<b>5</b>		<b>3</b>

Total Service Calls  
**19**

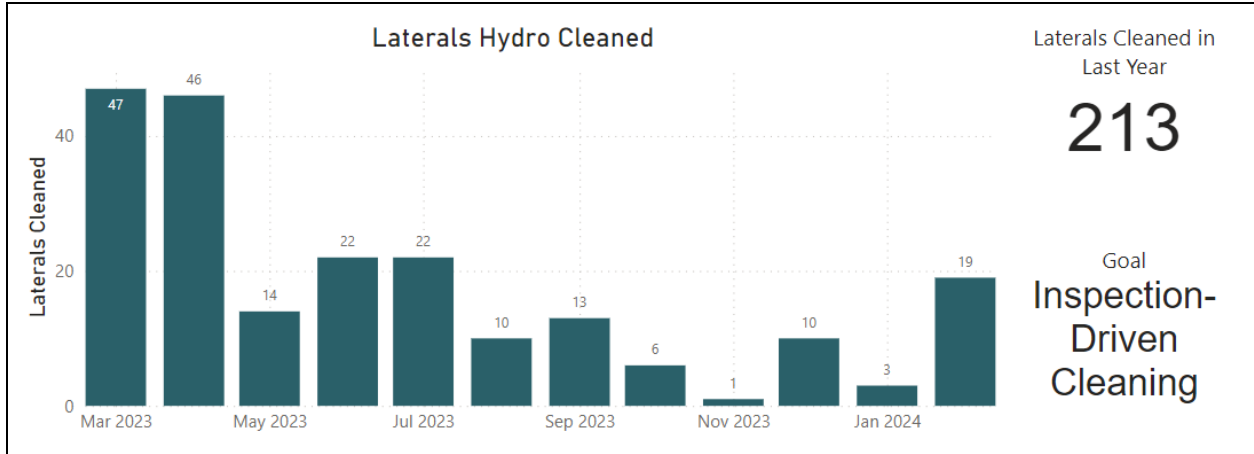
#### 4. Production

- a. The information provided below shows the work performed in key areas of focus. It does not represent all the work completed in the department.









### Item 7.2.3

#### ITEM VII. TSD REPORT

To: Board of Directors  
From: Carie Huff, District Engineer  
Cc: Herb Niederberger, General Manager  
Subject: Technical Services Department Monthly Report  
Board Date: April 4, 2024

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#### **TSD Updates:**

- ❖ TSD attended Harassment Prevention Training on February 28<sup>th</sup>.
- ❖ The District Engineer passed the CWEA Grade 4 Collection System certification test on March 1<sup>st</sup>.
- ❖ The District Engineer participated in a discussion with the City of Roseville on the transfer of assets south of Highway 65 on March 7<sup>th</sup>.
- ❖ The District Engineer participated in a SPWA partner meeting on March 11<sup>th</sup>.
- ❖ TSD staff participated in the Employee Engagement Committee (EEC) meeting on March 12<sup>th</sup>. The EEC is working on a policy to encourage employee participation in funding events.
- ❖ The District Engineer and Superintendent participated in a call with an attorney from Contractor Compliance and Monitoring (CCMI) regarding assisting the District with prevailing wage requirements on March 13<sup>th</sup>. The District anticipates entering into a professional services agreement to review the District's prevailing wage procedures and to provide training.
- ❖ TSD attended fire extinguisher and Emergency Action Plan training on March 13<sup>th</sup>.
- ❖ The District Engineer completed CSDA's ethics training on March 15<sup>th</sup>.
- ❖ TSD facilitated a meeting with Placer County Environmental Health on March 26<sup>th</sup> to review the District's FOG Program and to discuss options for collaboration and coordination. In particular, the tenant improvement process was discussed and how the District and Placer County can work together to support each other's objectives.
- ❖ The third quarter commercial audit of FY2023/24 is complete, and staff is working through the fourth quarter.
- ❖ TSD staff is working on updates to the District's Standard Specifications and Improvement Standards for Sanitary Sewer to align with the Sewer Code updates and to Chapter 4 – Wastewater Pump Stations. The review of the updated Wastewater Pump Station standards is currently under review.

### **Northwest Rocklin Sewer Annexation Construction Project (formerly known as Atherton Trunk)**

The City notified the District on March 12<sup>th</sup> that the property owner accepted their offer to purchase the easement. The City is preparing the appropriate documents to finalize the purchase and will reach out once again to update the District on the schedule.

There are multiple development applications for projects upstream of the Northwest Rocklin Sewer Annexation Construction Project that propose to connect to the District's sewer system. The District has noted in responses to the City of Rocklin that connections will be approved on a case-by-case basis pending acceptance of the Northwest Rocklin Sewer Annexation Project.

### **Sierra College Trunk and Lift Station Abandonment, Rocklin**

TSD is in the process of coordinating access with property owners to complete a preliminary survey. The site walk will include the project team, including the geotechnical, and environmental consultants. There will be no test pits or ground disturbance during the site reconnaissance. The site visit is delayed due to coordination efforts with property owners.

### **Cameo Court Trunk and Lift Station Abandonment, Rocklin**

WaterWorks Engineers completed the preliminary base mapping, Utility "A" letters, desktop geotechnical study, right-of-way and easement research. WaterWorks is working with the City of Roseville to analyze their hydraulic model to determine downstream improvements required to accommodate the District connections. This analysis is anticipated to be completed in April of 2024.

### **PCWA / Newcastle Construction Cooperation Project**

GHD, the design engineer, is coordinating potholing efforts which will be scheduled once Placer County approves the encroachment permit. GHD will complete the final design once pothole results are available. The District Engineer and PCWA are coordinating with property owners as the design is finalized.

### **Jack in the Box Sewer Replacement Project**

The District reviewed the 60% design and provided comments to Uborra, the design engineer. District staff is coordinating pothole efforts to confirm utility locations and if rock is present in locations where the new sewer alignment will be deeper than the existing pipe. The design will be refined once this information is available.

### **Del Rio Court and Delmar Sewer Extension Project**

Staff is finalizing the specifications and anticipates that the project will go to bid in early April with award in May of 2024.

### **Johnson Springview Park Creek Crossing, Rocklin**

As indicated in previous TSD reports, WaterWorks Engineers and their subconsultant, Helix Environmental Planning, completed preliminary biological and cultural resource field surveys and records searches for the project. The preliminary results indicate close proximity to sensitive tribal resources and that that this segment of Antelope Creek is identified as essential fish habitat for listed salmonids. In addition, the preliminary cost estimate for the project is significantly higher than anticipated due to the complexity of the design. Staff presented these findings in detail at the Infrastructure Advisory Committee in February and will present them to the full board once the City of Rocklin indicates whether they will pursue the project.

### **Taylor Road Crossing, Newcastle**

The final design is complete, and staff will be working on the specifications to go to bid in late April.

### **Main Street, Newcastle**

Coastland submitted the preliminary design on March 19<sup>th</sup> and will proceed with potholing to refine the design.

### **Farron Street Sewer Trunk Replacement**

TSD staff is currently working on the contract documents to release for bidding.

### **Proposed Annexation of the Castle City Mobile Home Park in Newcastle**

There are no updates on the status of the funding application to the state of California.

### **Local Agency Formation Commission (LAFCO)**

There are no updates on the District's Municipal Services Review and Sphere of Influence Study.

### **FOG Program**

In February, the District's FOG Inspector conducted twelve core sample inspections and one pump-out inspection of grease control devices (GCDs). Four of the inspections led to the issuance of a Warning of Non-Compliance. The affected establishments include Panda Express at 2210 Sunset Boulevard, Safeway at 2220 Sunset Boulevard, the multi-tenant shared GCD at 5198 Commons Drive, and Via Roma at 1230 Sunset Boulevard.

The District's FOG Inspector discovered that the existing indoor legacy GCD at Via Roma was failing due to severe corrosion. The corrosion had advanced to the extent that a hole had formed in the bottom of the GCD, necessitating immediate replacement. Staff is working with the owners of Via Roma through the Tenant Improvement Process to devise solutions to replace the failing GCD.

All other enforcement actions were linked to concrete gravity GCDs. These types of GCDs are prone to frequent failures which require costly repairs to rectify the defects. Staff encourages these establishments to explore the installation of new GCDs that are compliant with the District's Sewer Code and made from materials that are resistant to corrosion.

Finally, at Denny's in Newcastle, District staff conducted a pre-construction meeting on-site with the plumber, property management group, and Placer County Environmental Health. Denny's had previously received a Notice of Violation for recurring sanitary sewer overflows (SSOs) stemming from a failing legacy grease control device (GCD), dating back to last November. However, Denny's demonstrated compliance and cooperation with the District's FSE tenant improvement process. This enforcement initiative involves installing a new hydromechanical GCD, fully rehabilitating the internal plumbing, and establishing both a grease and waste management system.

### **Industrial Pretreatment**

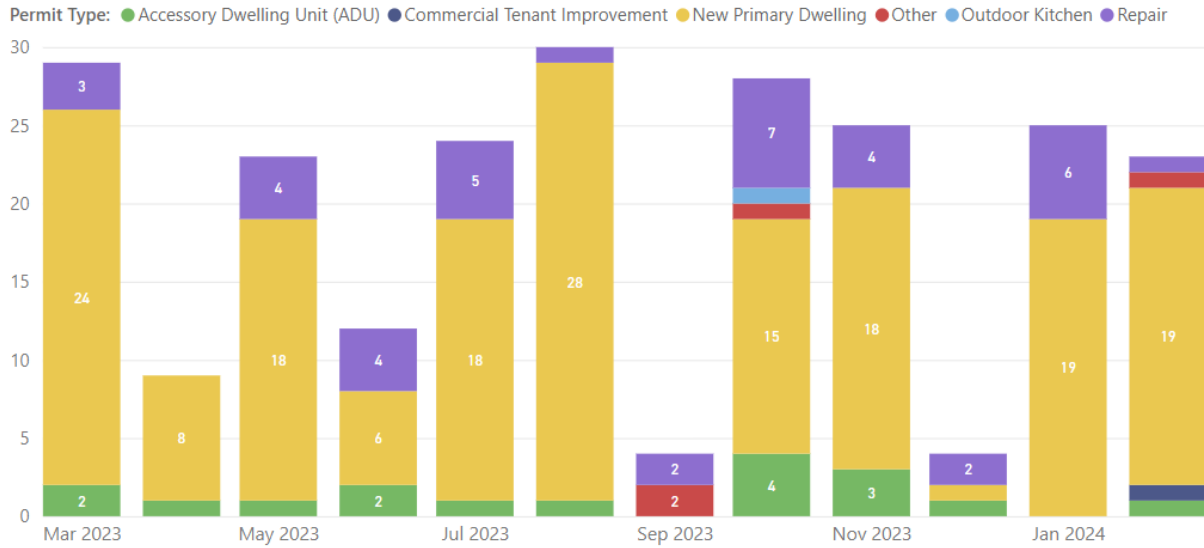
District staff and personnel from the City of Roseville Environmental Utilities Division have been collaborating on refining comments and incorporating additions to the draft Brewery Characterization Study. The goal is to prepare a finalized version of the study for publication by either April or May.

### **Department Performance Indicators**

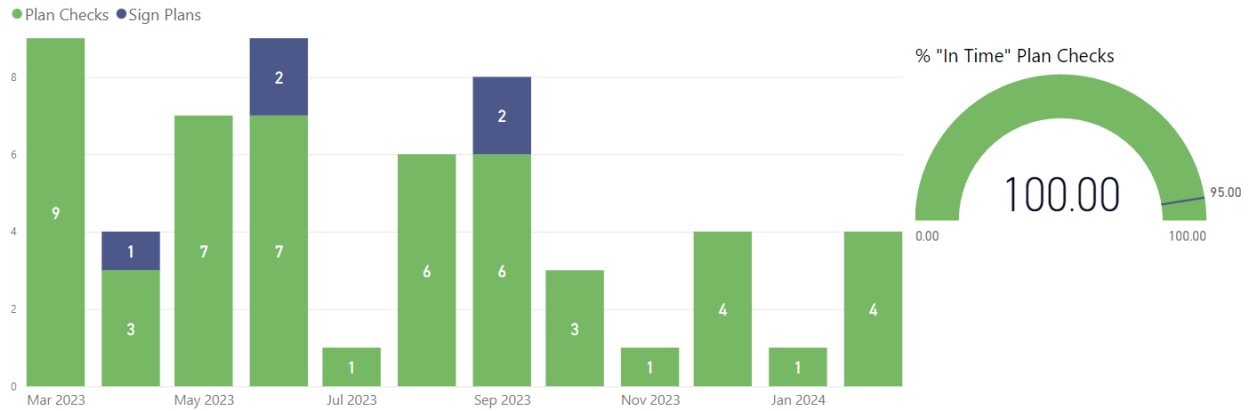
The following charts depict the efforts and performance of the department in the following areas of work as of February 29, 2024. The charts are being created in a new reporting tool that directly

connects to the District's data, improving the timeliness of reporting efforts and leveraging the District's investment in technology. Additional charts may be added in the future for other areas of work in the department.

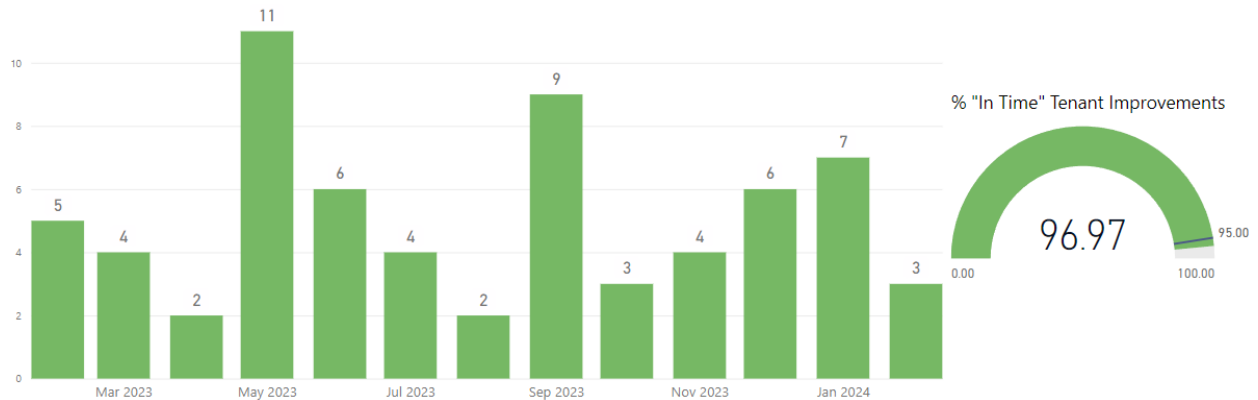
### Sewer Permits - Completed - Monthly Totals



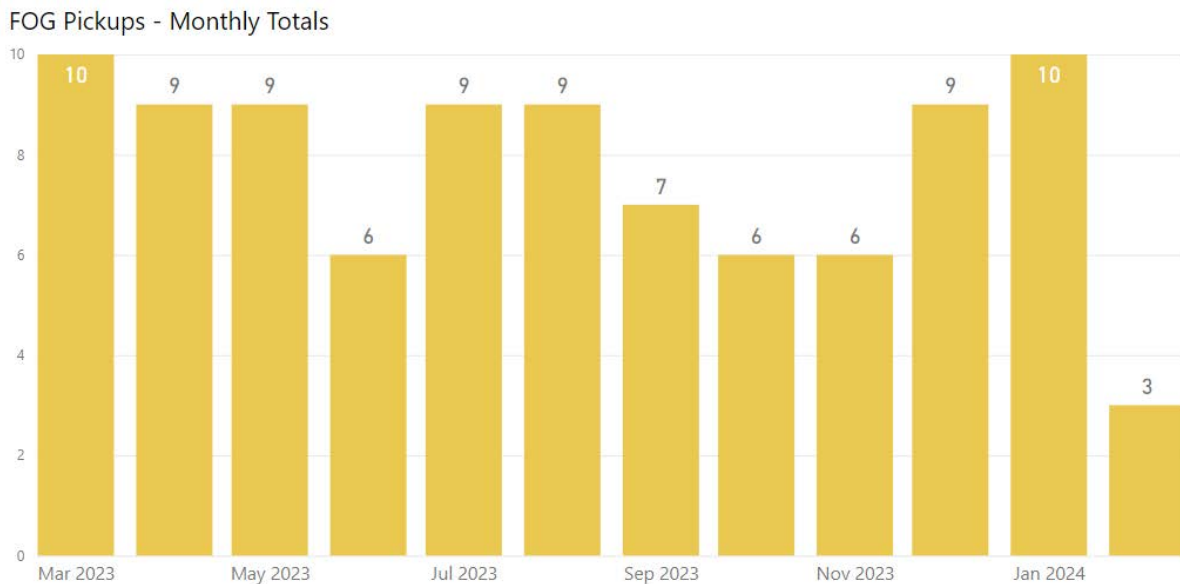
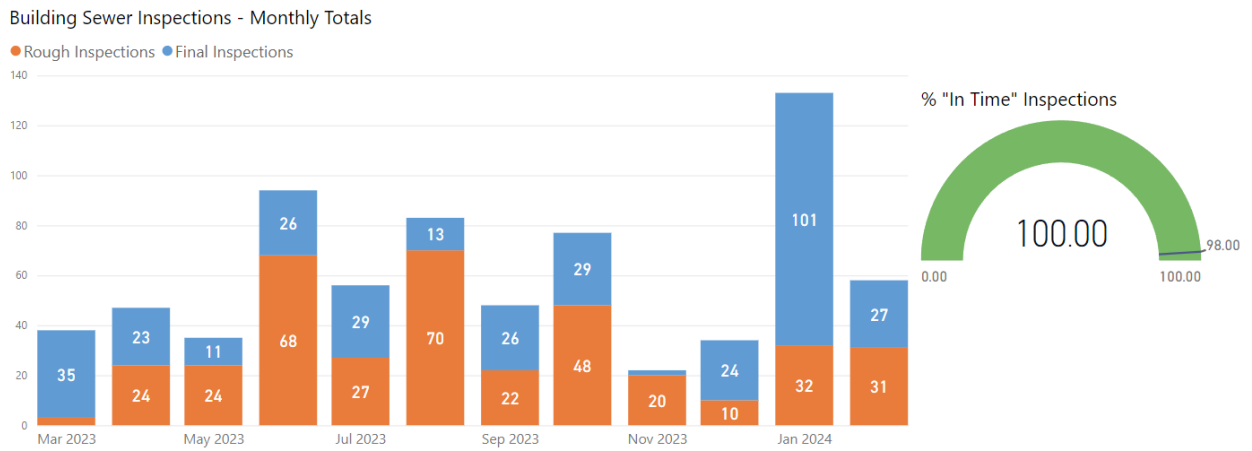
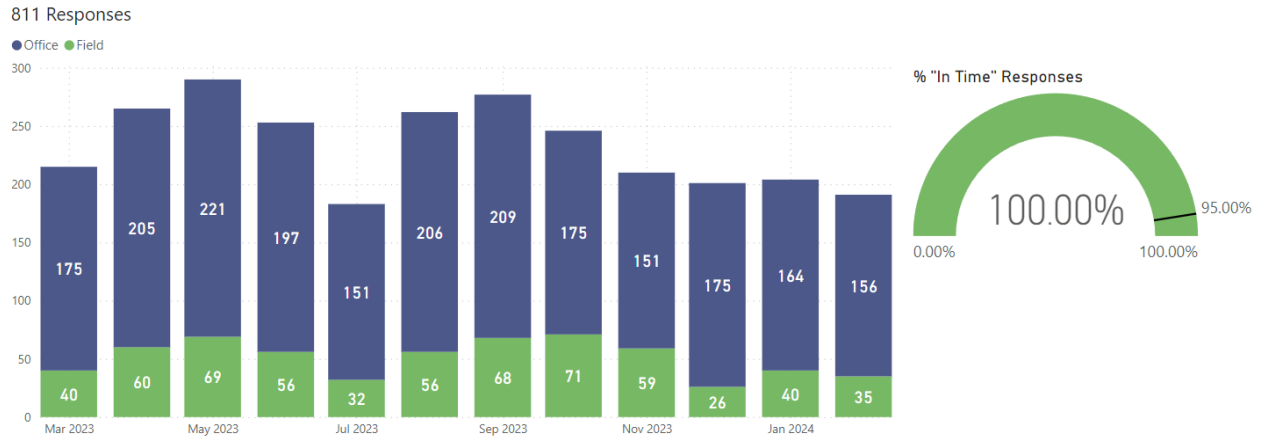
### Plan Checks Completed - Monthly Totals



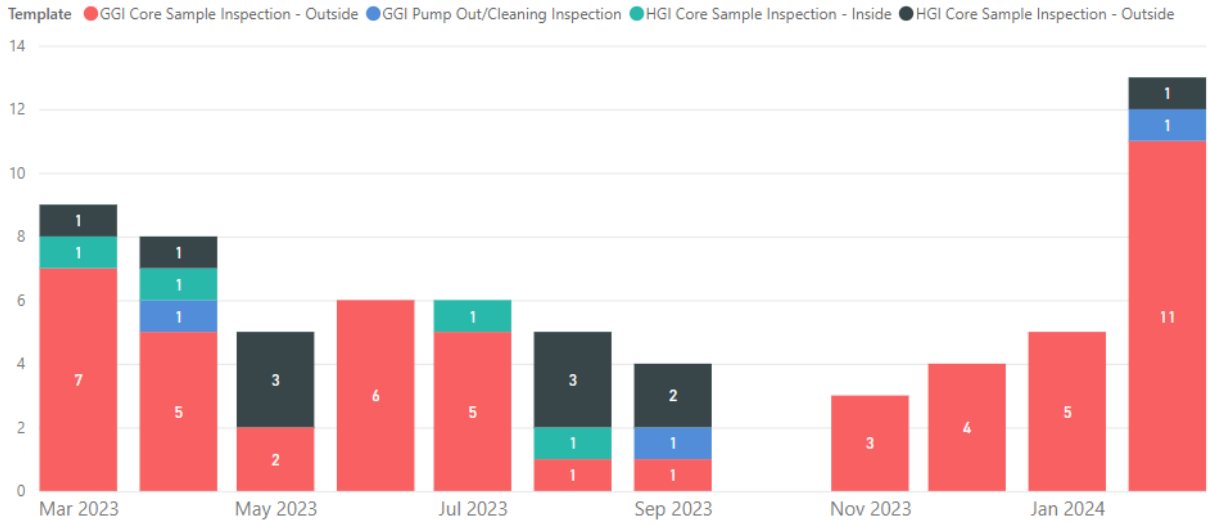
### Tenant Improvement Reviews Completed - Monthly Totals



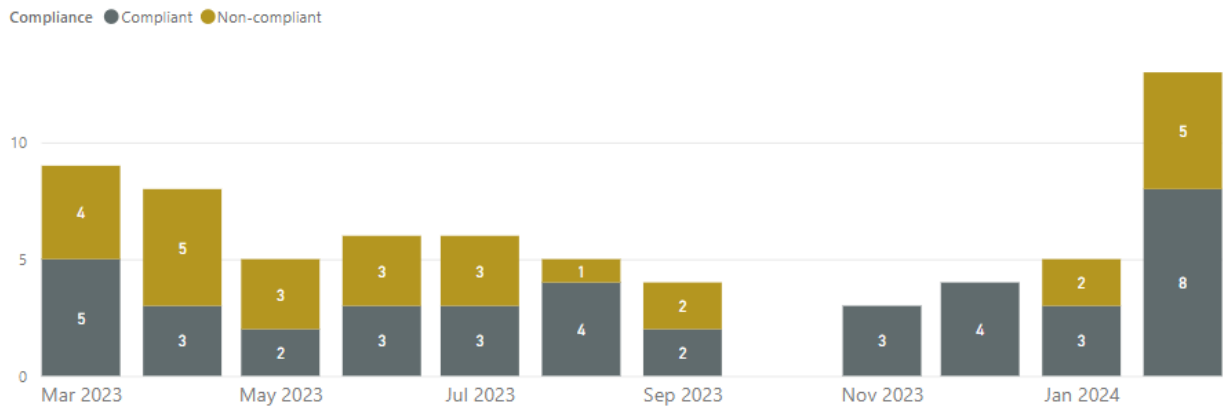
Note that Tenant Improvement totals and “In Time” review totals have been updated for the several months due to data cleanup.



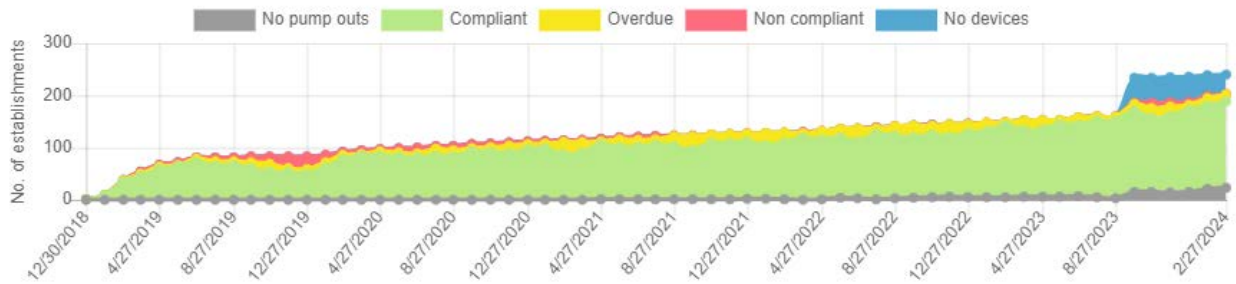
## Grease Interceptor Inspections



## Interceptor Inspection Results



## FOG Compliance History



SwiftComply updated the program to include facilities that do not have a grease control device. This blue area indicates food service establishments that either have no devices or have not been investigated or inspected yet.